



**MEETING OF THE MAYOR AND BOARD OF ALDERMEN
SOUTHAVEN, MISSISSIPPI
CITY HALL
October 3, 2023
6:00 PM
AGENDA**

1. **Call To Order**
2. **Invocation**
3. **Pledge Of Allegiance**
4. **Approval of Minutes: September 19, 2023**
5. **Planning Commissioner Appointment**
6. **Group Health Insurance Renewal**
7. **Amendment to Employee Handbook for Personal Leave**
8. **Resolutions to Revise City Ordinances**
 - a. **City Property Maintenance Code**
 - b. **Title IV, Chapter 2, Article VII, Section 4-127**
 - c. **Title IV, Chapter 1, Section 4-2**
9. **Contract with TK Elevator Corporation**
10. **Resolution for Finding of Fact for Water Rates as required by Mississippi Code 21-27-7**
11. **Variance Request to Utilize the 2024 ICC Building Code for Landers Center Expansion**
12. **Authorization to Advertise, Via Reverse Auction, for FY24 Police Equipment**
13. **SPD SOW with CivicPlus**
14. **Resolution for JAG Interlocal Agreement with Desoto County and Olive Branch**
15. **Authorization to Engage Bridge and Watson, Inc. for Planning and Consulting Services**
16. **Resolution for Liens and Assessments Pursuant to Mississippi Code 21-19-11**
17. **Resolution for Change Order Number 1 for Fire Extension Service Project Phase 3**
18. **Resolution for Budget Amendment**
19. **Resolution to Clean Private Property**
20. **Planning Agenda:**
 - Item #1 Application by Dr. Sarah Irby for design review approval of an office building to be located on lot 17 of the Offices of Cobblestone
 - Item #2 Application by SMJ Enterprise for subdivision approval of Serenity Pointe, Sec. "C" Phase 1
 - Item #3 Application by Kathy Williams for subdivision approval of the Virgie Williams Minor Subdivision on the west side of Baptist Road, south of Star Landing Road
21. **Mayor's Report**
22. **Personnel Docket**
23. **City Attorney's Legal Update**
24. **Utilities Billing Leak Adjustment Docket**
25. **Claims Docket**
26. **Executive Session: Litigation Discussion with City Attorney (Miss. Code Ann. Section 25-41-7(4)(j)); Economic Development (Industry/Business Locating to City); Interdepartmental Personnel with No Action**

Items may be added to or omitted from this agenda as needed.

Minutes, City of Southaven, Southaven, Mississippi



MEETING OF THE MAYOR AND BOARD OF ALDERMEN
SOUTHAVEN, MISSISSIPPI
CITY HALL
September 19, 2023
6:00 PM
AGENDA

1. Call To Order
2. Invocation
3. Pledge Of Allegiance
4. Approval of Minutes: September 5, 2023 & Special Meeting September 12, 2023
5. Swearing-In New Members to Mayor's Youth Council
6. Resolution for FY24 Donations
7. Resolution for SPD Surplus
8. Tennis Expansion Task Orders
 - A. UrbanARCH
 - B. Civil-Link
9. Special Event Permits
10. Resolution for Liens
11. Final Change Orders
 - A. Pepperchase Drive Extension
 - B. Getwell Multi-Use Trail
12. Citizen, Josh Stewart
13. Resolution to Clean Private Property
14. Planning Agenda:
 - Item #1 Application by M & N Property for a Conditional Use Permit to allow gas pumps as an accessory use on the northwest corner of Getwell Road and College Road
 - Item #2 Application by Shaniqua Campbell for a Conditional Use Permit to allow a full service spa at 362 Stateline Road
 - Item #3 Application by Michael Likens for a Conditional Use Permit to allow motor vehicle repair and towing at 1931 Veterans Drive
15. Mayor's Report
16. Personnel Docket
17. City Attorney's Legal Update
18. Utilities Billing Leak Adjustment Docket
19. Claims Dockets:
 - Docket 1
 - Docket 2
20. Executive Session:
 - Litigation Discussion with City Attorney (Miss. Code Ann. Section 25- 41-7(4)(j));
 - Economic Development (Industry/Business Locating to City);
 - Interdepartmental Personnel with No Action

Items may be added to or omitted from this agenda as needed.

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Minutes, City of Southaven, Southaven, Mississippi

MINUTES OF THE REGULAR MEETING OF September 19, 2023 OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF SOUTHAVEN, MISSISSIPPI

BE IT REMEMBERED that the Mayor and Board of Aldermen of the City of Southaven, Mississippi met in a Regular Meeting on the 19th day of September, 2023 at six o'clock (6:00) p.m. at City Hall.

Present were:

George Payne	Alderman At Large
Kristian Kelly	Alderman, Ward 1
Charlie Hoots	Alderman, Ward 2
William Jerome	Alderman, Ward 3
Joel Gallagher	Alderman, Ward 4
John David Wheeler	Alderman, Ward 5
Raymond Flores	Alderman, Ward 6

Also present were Mayor Musselwhite, Andrea Mullen, City Clerk, and Nick Manley, City Attorney. Approximately sixty 60 other people were present. Mayor Musselwhite called the meeting to order. Mayor Musselwhite called for a moment of silence for the loss of Mr. Al Gilliss, a long-time citizen and business man in the City of Southaven. Next, Alderman Gallagher led in prayer followed by the Pledge of Allegiance led by Weblow Scout, Raine Lantrip.

Next, a motion was made by Alderman Hoots to approve the minutes of the Regular Meeting of September 5, 2023 with any corrections, deletions, or additions necessary. Motion was seconded by Alderman Jerome. Motion was put to a vote and passed unanimously.

A motion was made by Alderman Hoots to approve the minutes of the Special Meeting of September 12, 2023 with any corrections, deletions, or additions necessary. Motion was seconded by Alderman Jerome. Motion was put to a vote and passed unanimously.

Constitution Week

Mayor Musselwhite declared September 17 – 23 as Constitution Week in the City of Southaven.

SWEARING-IN NEW MEMBERS TO MAYOR'S YOUTH COUNCIL

Mayor Musselwhite swore-in the new 2023-2024 Mayor's Youth Council members that were in attendance. The following students were selected to participate on the Mayor's Youth Council:

Christian Hughes
Natalie Greaves
Ella Bryan
James Evans
Vanessa Boyd
Jordis Newsom

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Emily Grissom
Morgan Thompson
Judd Albans
Claire Webby
Addyson Drisdale
Sara Louise Manley
Tate Haynes
Tavion Jackson
Darrion Maxwell
Kyra Hoskin

RESOLUTION FOR FY24 DONATIONS

Nick Manley, City Attorney, presented this item to the Board.

Mr. Manley stated that this resolution sets forth the donations to each entity along with the legal authority for each donation. After hearing from Mr. Manley, the Board of Alderman considered the following resolution:

RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF SOUTHAVEN, MISSISSIPPI APPROVING DONATIONS

WHEREAS, the City of Southaven ("City") desires to approve certain donations as allowed pursuant to the Mississippi Code; and

WHEREAS, the City pursuant to Mississippi Code 21-19-44 desires to appropriate and contribute budgeted funds for, local economic development organizations; and

WHEREAS, the City pursuant to Mississippi Code 39-3-1 desires to appropriate and contribute budgeted funds for the M.R. Davis Library; and

WHEREAS, the City pursuant to Mississippi Code 39-15-1 desires expend monies from to match other funds available for the purpose of supporting the development, promotion and coordination of the arts within the City; and

WHEREAS, the City, pursuant to Mississippi Code 17-3-1 and 17-3-3 desires to expend moneys for the purpose of advertising and bringing into favorable notice the opportunities, possibilities and resources of the City which will be helpful toward advancing the moral interest of the City; and

WHEREAS, the City, pursuant to Mississippi Code 21-19-65, desires to match other funds via donation or rental donation for the purpose of supporting social and community service programs within the City; and

WHEREAS, the City, pursuant to Mississippi Code 21-17-1(3)(b)(ii), desires to provide rental donations to those entities set forth below which meet the requirements of Mississippi Code 21-17-1(3)(b)(ii); and

NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

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1. Pursuant to Mississippi Code 21-19-44 and 21-19-44.1, the City hereby approves donations to the Southaven Chamber in the amount of \$80,000.00 and the Desoto Economic Council in the amount of \$37,941.00 for the purpose of bringing favorable notice and economic opportunities to the City.
2. Pursuant to Mississippi Code 39-3-1, the City hereby approves appropriation to the M.R. Davis Library in the amount of \$300,000.00.
3. Pursuant to Mississippi Code 17-3-1 and 17-3-3 and Mississippi Code 39-15-1, the City hereby approves a donation in the amount of \$40,000.00 to Desoto Family Theatre for the promotion of the arts and favorable notice and opportunities for the arts to the City that the Desoto Family Theatre brings to the City and to serve as matching funds for the Theatre. Also, pursuant to Mississippi Code 17-3-1 and 17-3-3 and Mississippi Code 39-15-1, the City hereby approves a donation in the amount of \$9,000.00 to the Historic DeSoto Foundation for its museum which contribution will support the development, promotion and coordination of the arts and bring favorable notice to the City.
4. Pursuant to Mississippi Code 17-3-1 and 17-3-3 and Mississippi Code 21-19-65, the City hereby approves donations to The Arc of Northwest Mississippi in the amount of \$30,000.00 and Healing Hearts Child Advocacy Center in the amount of \$40,000.00 for the promotion of the City's moral interest associated with helping abused children by Healing Hearts Child Advocacy and helping individuals with development and intellectual disabilities by the Arc of Northwest Mississippi. The amounts provided to each entity by the City are matching funds for the support of social and community service programs within the City.
5. Pursuant to Mississippi Code 21-19-65 and 21-17-1(3)(b)(ii), the City hereby approves a donation to the House of Grace in the amount of \$9,000.00 for its efforts to help women and The Hope Center in the amount of \$20,000.00; a rental donation for the Arena to the Community Foundation of Northwest Mississippi for its Crystal Ball to help with its mission is to connect and assist donors as well as nonprofit organizations and charitable causes to make a difference with an emphasis on education, health and children in order to impact communities, including individuals and causes in the City.
6. Pursuant to Mississippi Code 21-17-1(3)(b)(2), the City hereby approves a rental donation for use of the BankPlus Amphitheater Plaza for the Homerun 5K Habitat for Humanity fundraiser.
7. The City Clerk's Office is hereby authorized and directed to make such donation from City funds.
8. The City Park's Office is hereby authorized to coordinate the dates and logistics for the rental donations.
9. Upon application and approval by the City Parks Department and City Police Department as it relates to adequate security, the City Board grants an alcohol variance to the Community Foundation of Northwest Mississippi.

Following the reading of the foregoing resolution, Alderman Flores made the motion to adopt the Resolution and Alderman Wheeler seconded the motion for its adoption. The Mayor put the question to a roll call vote and the result was as follows:

Alderman William Jerome

voted: YES

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Alderman Kristian Kelly	voted: YES
Alderman George Payne	voted: YES
Alderman Joel Gallagher	voted: YES
Alderman Charlie Hoots	voted: YES
Alderman Raymond Flores	voted: YES
Alderman John Wheeler	voted: YES

RESOLVED AND DONE, this 19th day of September, 2023.

RESOLUTION FOR SPD SURPLUS

Nick Manley, City Attorney, presented this item to the Board.

Mr. Manley stated that this resolution will surplus firearms from the SPD in accordance with Miss. Code 17-25-25. Before being able to bid on the firearms, the bidding entity will have to provide its firearm license for SPD review. After hearing from Mr. Manley, the Board of Alderman considered the following resolution:

RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF SOUTHAVEN, MISSISSIPPI DECLARING SURPLUS PROPERTY

WHEREAS, the City of Southaven ("City") Police Department, is presently in possession of certain firearms as set forth in Exhibit A (collectively "the Property") which are no longer needed by the City;

WHEREAS, pursuant to Mississippi Code 17-25-25, it has been recommended by the City Police to the Mayor and Board of Aldermen that the Property be declared as surplus and sold and/or disposed of as appropriate and in accordance with Mississippi Code 17-25-25; and

WHEREAS, the Mayor and Board of Aldermen are desirous of disposing of the Property and it being surplus in accordance with Mississippi Code 17-25-25; and

NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

1. The Property be hereby declared as surplus property.
2. The City Police Chief, or his designee, is hereby authorized and directed to follow Mississippi Code 17-25-25 for the disposition of the Property.

Motion was made by Alderman Flores and seconded by Alderman Payne, for the adoption of the above and foregoing Resolution, and the question being put to a roll call vote, the result was as follows:

Alderman William Jerome	voted: YES
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Alderman Kristian Kelly	voted:	YES
Alderman George Payne	voted:	YES
Alderman Joel Gallagher	voted:	YES
Alderman Charlie Hoots	voted:	YES
Alderman Raymond Flores	voted:	YES
Alderman John Wheeler	voted:	YES

RESOLVED AND DONE, this 19th of September, 2023.

A copy of the surplus list is attached and fully incorporated into these minutes.

TENNIS EXPANSION

A. URBANARCH

B. CIVIL-LINK

Nick Manley, City Attorney, presented this item to the Board.

Urban Arch

This task order with Urban Arch is in the amount of \$115,000.00 is five percent (5%) of the \$2,300,000.00 estimate for the construction of eight (8) new outdoor tennis courts complete with fencing, lighting, sidewalks, landscaping, small rest room/storage building, shade pavilions and expansion of adjacent parking lot. The task order is required in accordance with Urban Arch's Master Contract.

Civil Link

This task order with Civil Link is for the topography survey for the expansion of tennis courts. The task order is in compliance with Civil Link Master Contract, and the task order is in the amount of \$3,500.00.

Alderman Gallagher made the motion to authorize Mayor Musselwhite to sign the Urban Arch and Civil Link task orders. Motion was seconded by Alderman Wheeler.

Roll call was as follows:

ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

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Having received a majority of affirmative votes, Mayor Musselwhite declared that the motion was carried and approved on the 19th day of September, 2023.

A copy of the task orders are attached and fully incorporated into these minutes.

SPECIAL EVENTS PERMIT

Nick Manley, City Attorney, presented this item to the Board.

Mr. Manley stated that the Board is required to approve special event permits. There are three (3) special event permit requests and all three are located at Silo Square. The first request is from November 17 to December 3 for the buy a tree event at Silo Square with proceeds go to Healing Hearts. The second request is for Christmas at Silo Square on November 9-11. The third request is for Cars for a Cause at Silo Square on September 30. Alderman Payne made the motion to approve the three special events at Silo Square. Motion was seconded by Alderman Kelly.

Roll call was as follows:

ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

Having received a majority of affirmative votes, Mayor Musselwhite declared that the motion was carried and approved on the 19th day of September, 2023.

A copy of the applications are attached and fully incorporated into these minutes.

RESOLUTION FOR LIENS

Nick Manley, City Attorney, presented this item to the Board.

Mr. Manley stated that this resolution will authorize liens to be filed for those properties that were cut in accordance with Miss. Code 21-19-11. After hearing from Mr. Manley, the Board of Alderman considered the following resolution:

RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF SOUTHAVEN, MISSISSIPPI

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ADJUDICATING THE COST OF CLEANING PROPERTY, IMPOSING A PENALTY AND IMPOSING LIEN OF THE SAME AGAINST PROPERTY

WHEREAS, the City of Southaven ("City") has the authority, pursuant to Section 21-19-11 of the Mississippi Code (1972) to clean up property within the City, under circumstances which create a menace to the public health and safety of the community, and

WHEREAS, the Mayor and Board of Aldermen conducted hearings regarding various properties, as set forth in Exhibit A, and determined that the conditions and circumstances of such properties created a menace to the public health and safety of the community, and ordered the clean-up of the properties, and

WHEREAS, pursuant to the authority granted to the City, the Mayor and Board of Aldermen contracted with an outside contractor who has undertaken and completed the clean-up of the properties, and

WHEREAS, the Mayor and Board of Aldermen have heard proof and find as a fact that the actual cost of the clean-up is as attached hereto as Exhibit A, and

WHEREAS, the Mayor and Board of Aldermen are desirous of imposing a penalty of Two Hundred Fifty Dollars and 00/100 (\$250.00) per property per cutting, and

WHEREAS, the Mayor and Board of Aldermen deem and resolve that the clean-up cost and penalty shall be collected as a lien against property and if not paid, the lien shall be converted as an assessment against each property, to be collected by the Tax Collector in the manner employed for the collection of all other taxes and assessments of the municipality, unless sooner collected through other means.

NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

1. The actual cost of the clean-up of properties listed in Exhibit A be assessed to the property and the same is hereby determined to be as set forth in Exhibit A attached hereto.
2. A penalty in the amount of \$250 per lot per cutting as listed above be, and the same is hereby imposed against each parcel in addition to the actual cost of the property clean-up.
3. The total amount, as set forth above, be, and the same is hereby assessed against each property, to be filed as a lien and if not collected, to be converted as an assessment to be collected by the Tax Collector in the manner used for collection of other municipal taxes and assessments, unless sooner collected through other means.

Following the reading of this Resolution, it was introduced by Alderman Payne and seconded by Alderman Kelly. The Resolution was then put to a roll call vote and the results were as follows, to-wit:

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Alderman William Jerome	voted: YES
Alderman Kristian Kelly	voted: YES
Alderman George Payne	voted: YES
Alderman Joel Gallagher	voted: YES
Alderman Charlie Hoots	voted: YES
Alderman Raymond Flores	voted: YES
Alderman John Wheeler	voted: YES

RESOLVED AND DONE this 19th day of September, 2023.

A list containing street name, parcel id#, and assessment totals is attached to these minutes.

FINAL CHANGE ORDERS

A. PEPPERCHASE DRIVE EXTENSION

B. GETWELL MULTI-USE TRAIL

Nick Manley, City Attorney, presented this item to the Board.

Pepperchase Drive Extension Change Order

Mr. Manley stated that this change order is a deduct in the amount of \$165,185.22 as the contract quantities were less than the final quantities. Alderman Flores made the motion to authorize Mayor Musselwhite to sign the change order. Motion was seconded by Alderman Payne.

Roll call was as follows:

ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

Having received a majority of affirmative votes, Mayor Musselwhite declared that the motion was carried and approved on the 19th day of September, 2023.

A copy of the change order is attached and fully incorporated into these minutes.

Getwell Multiuse Trail Change Order

Mr. Manley stated that this change order is an increase in the amount of \$39,714.69 for the increased quantities from the contract quantities associated with the Springfest Parking addition. The Board considered the following resolution:

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RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI
APPROVING FINAL CHANGE ORDER FOR GETWELL ROAD MULTIUSE TRAIL
CONNECTION AND AUTHORIZING THE MAYOR TO SIGN

WHEREAS, the City of Southaven ("City"), pursuant to Mississippi Code Section 31-7-13, previously solicited bids for Getwell Road Multiuse Trail Connection ("Project") whereby Phillips Contracting Co., Inc. ("Phillips") was the lowest and best bid; and

WHEREAS, it has been recommended by the City Engineers and Project consulting engineers to allow for changes, via a final change order, to adjust for original contract quantities to match final measure quantities for parking, as more fully set forth in Exhibit A; and

WHEREAS, based on the recommendation of the respective engineers, the City desires to proceed with the suggested changes as set forth above and in more detail in Exhibit A and pursuant to Mississippi Code 31-7-13(g) finds that the Final Change Order for the Project is necessary and better serves the purpose of the City and the change order will be done in a commercially reasonable manner and is not being done to circumvent the public purchasing statutes; and

NOW, THEREFORE, BE IT ORDERED by the Board of Aldermen of the City, to wit:

1. Pursuant to Mississippi Code 31-7-13(g), the Summary Change Order for the Project is not a new undertaking or outside the original scope of the contract and is commercially reasonable and not being done to circumvent the public purchasing statutes, the City Board approves the Change Order in the amount of \$39,714.69.
2. The Mayor is authorized to sign the Change Order and take all actions to effectuate the intent of this Resolution.

Following a reading of the foregoing resolution, Aldermen Flores made the motion and Alderman Payne seconded the motion for its adoption. The Mayor put the question to a roll call vote and the result was as follows:

Alderman William Jerome	voted: yes
Alderman Kristian Kelly	voted: yes
Alderman Charlie Hoots	voted: yes
Alderman George Payne	voted: yes
Alderman Joel Gallagher	voted: yes
Alderman John Wheeler	voted: yes
Alderman Raymond Flores	voted: yes

RESOLVED AND DONE, this 19th day of September, 2023.

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Having received a majority of affirmative votes, Mayor Musselwhite declared that the motion was carried and approved on the 19th day of September, 2023.

A copy of the change order is attached and fully incorporated into these minutes.

CITIZEN, JOSH STEWART

Mr. Stewart, Citizen of Southaven, expressed concerns about the lack of a skate park. Mr. Stewart requested that the City bring a skate park back into Southaven. Mayor Musselwhite stated that they will continue to work on looking at locations for a possible skate park. Mayor Musselwhite thanked Mr. Stewart for coming before the Board.

RESOLUTION TO CLEAN PRIVATE PROPERTY

Mayor Musselwhite introduced the cleaning of property and asked if there were any comments from the Board and there were none. Mayor Musselwhite then asked for any comments from the public and there were none. The Board then considered the following resolution to clean private property:

RESOLUTION GRANTING AUTHORITY TO CLEAN PRIVATE PROPERTY

WHEREAS, the governing authorities of the City of Southaven, Mississippi, have received numerous complaints regarding the parcel of land located at the following address, to-wit:

CONDEMNATION ADDRESS

**1336 BROOKHAVEN
8411 OLD FORGE Rd.**

To the effect that the said parcel of land has been neglected whereby the grass height is in violation and there exist other unsafe conditions and that the parcel of land in the present condition is deemed to be a menace to the public health and safety of the community.

WHEREAS, pursuant to Section 21-19-11 of the Mississippi Code Annotated (1972), the governing authorities of the City of Southaven, Mississippi, provided the owners of the above described parcel of land with notice of the condition of their respective parcel of land and further provided them with notice of a hearing before the Mayor and Board of Aldermen on Tuesday, **September 19, 2023** by United States mail and by posting said notice, to determine whether or not the said parcel of land were in such a state of uncleanliness as to be a menace to the public health and safety of the community.

WHEREAS, none of the owners of the above described parcel of land appeared at the meeting of the Mayor and Board of Aldermen on Tuesday, **September 19, 2023**, to voice objection or to offer a defense.

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NOW, THEREFORE, BE IT HEREBY RESOLVED, by the Mayor and Board of Alderman of the City of Southaven, Mississippi, that the above described parcel of land located at:

CONDEMNATION ADDRESS

**1336 BROOKHAVEN
8411 OLD FORGE Rd.**

is deemed in the existing condition to be a menace to the public health and safety of the community.

BE IT FURTHER RESOLVED that the City of Southaven shall, if the owners of the above described parcel of land do not do so themselves, immediately proceed to clean the respective parcel of land, by the use of municipal employees or by contract, by cutting weeds and grass and removing rubbish and other debris.

Following the reading of this Resolution, it was introduced by Alderman Payne and seconded by Alderman Kelly. The Resolution was then put to a roll call vote and the results were as follows, to-wit:

ALDERMAN	VOTED
Alderman George Payne	YES
Alderman Kristian Kelly	YES
Alderman Charlie Hoots	YES
Alderman William Jerome	YES
Alderman Joel Gallagher	YES
Alderman John David Wheeler	YES
Alderman Raymond Flores	YES

The Resolution, having received a majority vote of all Aldermen present, was declared adopted on this, the **19th of September 2023**.

CITY OF SOUTHAVEN

PLANNING AGENDA

Planning Agenda presented by Whitney Choat-Cook, Director of Planning & Development.

Item#1 Application by M & N Property for a Conditional Use Permit to allow gas pumps as an accessory use on the northwest corner of Getwell Road and College Road

Mrs. Choat-Cook stated that this property is identified under the Dickens Place PUD as a Neighborhood Commercial (C-1) area with 5.92 acres on the northwest corner of Getwell Road and College Road. The applicant is requesting a conditional use permit to allow gas pumps as an accessory use to a retail store on this parcel of land. The current condition of the land is a vacant property with no formal approvals for development on site.

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Mrs. Choat-Cook presented the original staff report and the original submittal by the applicant. In the staff report, the recommendation of staff and the reasons to deny gas pumps in this location is stated. There was 65 plus people standing room only at the Planning Commission Meeting who were also in opposition of it. With the arguments being placed in front of the Planning Commission, it was voted unanimously in favor to deny by the Planning Commission.

Mrs. Choat-Cook next stated that on September 18, she received an email from the City Attorney where he forwarded the applicant's further response to the staff report. Mrs. Choat-Cook stated that with conditional use permits, there are certain criteria you are required to meet, such as traffic, health hazards, fire, etc.

First, Mrs. Choat-Cook stated that she, as the Planning Director, does not think from a C1 zoning stand point that this application for the CUP should be allowed to be heard. C1 zoning in the City of Southaven is neighborhood commercial. According to the City Zoning ordinance, gas pumps are not allowed in C1 zoning under a conditional use permit.

Mrs. Choat-Cook stated that the representative's argument was the PUD that was proposed and approved in 1997 by Desoto County, and it had a blanket zoning of C1 for this particular area. At the time of approval of the PUD, the Desoto County Ordinances for C1 property did allow for gas pumps to be considered under a conditional use permit. With that understanding, Mrs. Choat-Cook also examined the conditional use permit in accordance with the conditional use factors. However, Mrs. Choat-Cook re-stated that she does not believe this to be a valid application and her opinion is that the current City ordinance, which does not allow for gas pumps in C-1 zoning, supersedes the 1997 ordinances as referenced by the PUD.

Mrs. Choat-Cook presented and then detailed the City Planning Staff Report, which reflects the factors that the denial of the conditional use permit was based on by the planning commission. In addition, Mrs. Choat-Cook noted that it is City Planning Staff's opinion that the City's C-1 zoning at the time of submittal is the formal designation to abide by which does not allow for gas pumps AT ALL. While staff disagrees that C-1 allows for a gas pump CUP, the City Planning Staff still considered the conditional use request under the relevant factors. CUP's are not permitted by right and the governing authority has the authority to hear and review the evidence for the conditional use at the time of application. Conditional uses are based on several factors as set forth in City Ordinance and it was then noted that the City Planning Report states the reasons for denial of the CUP; however, in addition to the report items, the planning staff was able to further review CEDS documents referenced by the applicant which identified fire hazard concerns that staff has not previously documented in the report. Mrs. Choat-Cook then noted the original report be amended to add the following "During the five-year period of 2004-2008, NFPA [National Fire Protection Association] estimates that U.S. fire departments responded to an average of 5,020 [fires] in service or gas station properties per year. These fires caused an annual average of two

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civilian deaths, 48 civilian fire injuries, and \$20 million in direct property damage.”

In addition, Mrs. Choat-Cook noted that Title XIII Chapter 9 of the City Ordinances states, “If the findings by the governing authority relative to the above subjects are that the city would benefit from the proposed use and surrounding area would not be adversely affected, then such permits may be granted.” It was staff’s, as noted in the staff report, and City Planning Commission’s opinion that the surrounding area is adversely affected as noted in the report and by the 65+ attendees of the Planning Commission. This chapter also states that the board has the right to place safeguards to protect the City Comprehensive Plan and conserve and protect property and property values in the neighborhood.

Also, it was noted that the applicant references the CEDS report and in further review of CEDS documents staff notes the adverse impacts to property values as stated in the reports: “What decreases your property value: Gas stations, railroad tracks, hydro towers, power stations, and industrial areas — proximity to any of these things definitely won’t help improve your home value, since they can generate and/or attract odors or other substances that could affect your air quality” and “2. Convenience Store with Gas Station. People will be driving in and out of your intersection, hanging out at the property, and buying lots of lotto tickets, cigarettes, and beer when they gas up. Although handy, these shops do nothing to help property values and hurt them significantly according to Zillow.com.”

It was further noted that the planning staff has no issue with a convenience store, as it is allowed by right and the applicant may resubmit it at any time. As of today, there is no site plan approved as the previous one was denied by the Planning Commission in 2018 after it was tabled and the revisions were never addressed. The assumption by the applicant that showing the gas pumps on the site plan gives an informal approval to the owner is not realistic. The due diligence on uses by the owner of the property is not the responsibility of the city.

Furthermore, the City Planner disagreed with the applicant’s response regarding design review. The regulations use this term generally to discuss the site and the design of that site. The reference to this section is from Chapter 3 Planning and Design Review Commission. Section 13-3(h) is a general procedure for site design and those comments and submittals are for all applications. It does not reference the design review application which is specifically for elevations and landscaping and is identified in its own chapter. Either way, the city accepted the CUP application under C-1 zoning of the county so this argument is mute.

Mrs. Choat-Cook then noted the applicant keeps assuming that a hypothetical site design gives the allowance of the gas pumps, which is not the case. Submitting a conceptual design to engineering consultants does not provide a traffic warrant study or give the applicant a green light for traffic circulation. The applicant is assuming there was no need for a traffic study at that point which is not for him to decide since the City Planning Commission required it.

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In addition, as noted in staff report, gas stations are one of the highest yielding traffic uses for commercial properties which is documented in the Institute of Transportation Engineers Trip Generation Manual.

Mrs. Choat-Cook reiterated that the City Planning Staff has no issues with a convenience-stores, as they are permitted by right. A gas station and a convenience store are not one in the same and are not treated the same per city or county ordinances. However, staff conducted a conditional use review per the request of the applicant and for the reasons stated in the original report and this amended report, staff recommends denial.

Finally, the original report shows the viability of convenience stores without gas pumps within the city limits of Southaven. The applicant states that the loss of gas pumps has created a financial burden on the owner; however, the 5.92 acres is still commercial and has many commercial uses allowed. The applicant states that the delay in hearings has cost money however, his site plan application was submitted in mid-2018 and he never returned with the revisions requested by the City Planning Commission.

Title 13 Chapter 9 of the City Ordinance states that if the findings by the governing authorities be relative to the above subjects are that the City would benefit from the proposed use then the surrounding area would not be adversely affected then such permits may be granted. This is the allowance of a governmental agency / governing authority to deny it because of the adverse effects or approve it because there were not adversely affected. Mrs. Choat-Cook stated that she believed there was some confusion on behalf of the applicant that conditional use permits are granted by right and have to meet some stipulations and that is not the case. Mrs. Choat-Cook clarified that the City Governing Authority does have the right to deny it a conditional use permit when it adversely affects the neighborhoods around it, which in accordance with the documents, studies and findings, this use does.

Mrs. Choat-Cook stated that the Planning Commission as well as the people in the audience do believe it to be an adverse effect to the property. It also states that the Board has the right to place safe guards and protect the comprehensive plan and conserve and protect property values of the neighborhood. Mrs. Choat-Cook added that there is some confusion about the City not allowing a convenience store at the location, which no one in the City has ever stated. There are convenient stores and markets all throughout the City. It does not indicate that gas pumps go along with it. The convenience store can be located there, but the addition of the gas pumps in not conducive to that area.

Mrs. Choat-Cook stated that as of today, there is not even a site plan approved. There was a mention of the site plan application in 2018 by the Planning Commission and there were a lot of revisions to be done and additional information was requested, but it was never provided, so after 3 consecutive Planning Commission meetings with no further response, the application was denied. Mrs. Choat-Cook stated that as of right now, the applicant is 5 years in by their own doing, not by the City. The assumption of the applicant showing the gas pumps on the site plan somewhat gives it an informal approval to the

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owner is not realistic and as due diligence is owners responsibility. The applicant assumes that the site design gives them the allowance.

Mrs. Choat-Cook stated that quick service restaurants and gas stations have the highest traffic yielding uses you can put on a corner or a main thoroughfare so you have to be mindful of where the main access points are, where they are located, and how to enter and exit. College Road is a two-lane road with no curb and no gutter. Mrs. Choat-Cook stated that they had to determine if it could sustain the entrance and exit of that piece of property. The City never received any of that documentation from the applicant, but it is noted that in the Institute of Transportation Engineers and several other engineering transportation books that besides a quick service restaurant, gas stations are the biggest traffic generators.

Mrs. Choat-Cook stated that the City does not have an issue with a local convenient store or a local market, but they are not treated as a gas station. Those are two different uses and not one in the same. Mrs. Choat-Cook stated that they feel that they have conducted the conditional use per the request, looked at it on a fair basis, and not all conditional use permits are approved.

It was noted by Mrs. Choat-Cook that the Snowden Grove PUD text, Rosebury PUD text, and Cherry Tree Park PUD text specifically authorized gas pumps as part of the PUD. However, the PUD under consideration did not specifically authorize gas pumps but used a blanket C-1 zoning which in 1997 Desoto County zoning required a conditional use permit. Thus, if pumps were clearly allowed, the PUD text should have specifically allowed for it as done by other similar PUDS within the City.

After review of the conditional use, Mrs. Choat-Cook stated that she still feels that denial of the application is still in place as the proposed gas pumps are not consistent with the comprehensive plan, it creates concerns for the neighboring properties, fire concerns, was not specifically allowed by the PUD, and traffic congestion.

In addition to the above findings, Mrs. Choat-Cook provided the City Clerk the following documents for the record: a list of attendees in opposition of the gas station that was at the Planning Commission Meeting, Southaven Code of Ordinances Title 13, Chapter 13 -9 which itemizes out the conditional uses and what has to be taken into account when approving them, Comprehensive Plan, the Institute of Transportation Engineers trip generation manual which will show that this is an extremely high yielding traffic that warrants for concern on a corner, original staff report, and original application are attached to these minutes.

Ben Smith, Southaven Resident and M & N Property, LLC representative stated that he was not aware that a convenient store was approved at the location. Mr. Smith stated that their argument is that in 1997, the Desoto County Board of Supervisors approved the PUD for Dicken's Place. The County Ordinance at that time said that the preliminary plan for a PUD will be what governs the development of that property. The City of Southaven annexed that property and when annexed, the City took the zoning in for that piece of property. The

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PUD documents govern how that piece of property can be developed. Mr. Smith stated that it is their position that the City of Southaven, applicant, or surrounding home owners could not make changes to the original PUD.

Nick Manley stated that, from the City's perspective, the argument is that C1 under the 2018 amendment to the City ordinance for a gas station is not allowed by conditional in C1 zoning. However, even when considering the gas pumps under a CUP analysis, it still fails based on requirements, documents, and findings.

Mr. Smith noted that he utilized the CDES Report that stated that gas stations do not cause traffic congestion, fire hazards, decline in property values and have no adverse effects having your house near a gas station. Mr. Smith shared document information from the Community and Environmental Services in regards to probability studies associated with fire hazards.

Mayor Musselwhite asked if there was anyone else in the audience that would like to speak. Barbara Green, Nicole, and Debby Coby all expressed concerns with a gas station locating near their homes specifically property values and crime issues.

After noting the recommendation by the City Planning Commission, the City Planning Report, the City Comp. Plan, the reports and documents from the City Planner, and the findings and information provided by the City Planner that the record supports a finding that this denial is not "arbitrary and capricious" and furthermore is "fairly debatable," and that the Board abided by its own rules and regulations set forth in the zoning ordinance for the denial, Alderman Flores made the motion to deny the CUP by M & N Property, LLC to allow gas pumps. Motion was seconded by Alderman Payne.

ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

Having received a majority of affirmative votes, Mayor Musselwhite declared that the motion was carried on the 19th day of September, 2023.

The Following Documents are included as Exhibits to these Minutes and are fully incorporated in these minutes:

Snowden Grove PUD text
Rosebury PUD text
Cherry Tree Park PUD text
Desoto County zoning 1973
Desoto County zoning 2023

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Planning Commission attendees list in opposition of the gas station
Southaven Code of Ordinances Title XIII Chapter 13-9 Conditional Uses
Institute of Transportation Engineers Trip Gen Manual 10th edition
City Comprehensive Plan
City Planning Report
CUP Application
Documents Provided by Applicant's Representative at Board Meeting
The web page found at <https://ceds.org/gasstation/>

Item #2 Application by Shaniqua Campbell for a Conditional Use Permit to allow a full-service spa at 362 Stateline Road

Mrs. Choat-Cook stated that the applicant is requesting a conditional use permit for a full-service spa to be located at 362 Stateline Road on the north side of Stateline Road, just east of Hamilton Road. Per the application, the owners intends to offer manicures, pedicures, nail extensions, nail art and additional nail care services. There are no other amenities on site. After review of the applicant's paperwork, this establishment does not meet the requirements for a full-service spa which requires three or more amenities. It does, however, meet the standards for a nail salon, which by definition is also required to meet the ½ mile distance rule. The Board of Alderman recently revised this ordinance to allow for a maximum of two (2) nail salons within the ½ distance area in an effort to ease the concerns of business owners wishing to locate in the city. The applicant has met the requirements for the conditional use; therefore, staff recommends approval of a one (1) year permit with a four (4) year extension to be renewed annually. After hearing from Mrs. Choat-Cook, the Board of Alderman considered the following resolution:

THE CITY OF SOUTHAVEN, MISSISSIPPI GRANTING CONDITIONAL USE PERMIT TO SHANIQUA CAMPBELL AT 362 STATELINE ROAD, SOUTHAVEN, MISSISSIPPI

WHEREAS, the City of Southaven's ("City") Planning Commission previously held a hearing on August 28, 2023 for the conditional use permit ("permit") application of Shaniqua Campbell (the "Applicant") for a nail salon located at 362 Stateline Road, Southaven, Mississippi; and

WHEREAS, "Conditional Use" is defined in the City Code of Ordinances at Title XIII, Chapter 1, Section 13-1(b) as "a use that would not be appropriate generally or without restrictions throughout the zoning district but which, if controlled as to number, area, location or relation to the neighborhood, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare;" and

WHEREAS, the Laws of the State of Mississippi, Section 17-1-1 to 17-1-27, inclusive, of the Mississippi Code of 1972, annotated, as amended, empower the City to enact a Zoning Ordinance and to provide for its administration, enforcement and amendment; and

WHEREAS, pursuant to Mississippi Code Ann. Sections 21-17-5, the City has the authority to adopt ordinances with respect to City property including the adoption of all

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lawful orders, resolutions or ordinances with respect to municipal affairs, property, and finances, and to alter, modify, and repeal such orders, resolutions or ordinances; and

WHEREAS, based on findings of the City Planning Commission at the hearing and City Code of Ordinances and City staff report as further set forth in Exhibit A to this Resolution, the City's Planning Commission recommends, subject to the City Board's revocation, a one (1) year permit, and the permit may be renewed for four (4), one year extensions at the discretion of the City Board of Aldermen, pursuant to its discretion as set forth in the City Code of Ordinances at Title XIII, Chapter 9, Section 13-9(a); and

NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

1. Subject to the Board's revocation for violation of the permit or ordinances, the City Board grants a permit to the Applicant for a nail salon at 362 Stateline Road, Southaven, Mississippi for one (1) year with up to four (4), one-year extensions to be renewed annually at the discretion of the City Board of Aldermen.
2. The Mayor and City Planning Director or their designee are authorized to take any and all action to effectuate the intent of this Resolution.

Following the reading of this Resolution, it was introduced by Alderman Kelly and seconded by Alderman Hoots. The Resolution was then put to a roll call vote and the results were as follows, to-wit:

Alderman William Jerome	voted: YES
Alderman Kristian Kelly	voted: YES
Alderman George Payne	voted: YES
Alderman Joel Gallagher	voted: YES
Alderman Charlie Hoots	voted: YES
Alderman Raymond Flores	voted: YES
Alderman John Wheeler	voted: YES

Having received a majority of affirmative votes, the Mayor declared that the Resolution was carried and adopted as set forth above on this the 19th day of September, 2023.

CITY OF SOUTHAVEN, MISSISSIPPI

A copy of the staff report is attached and fully incorporated into these minutes.

Item #3 Application by Michael Likens for a Conditional Use Permit to allow motor vehicle repair and towing at 1931 Veterans Drive

Mrs. Choat-Cook stated that The applicant is requesting a conditional use permit for motor vehicle repair and towing to be located at 1931 Veterans Drive. The site has an existing office building and repair shop on site with a sight proof fence line and gated access on the east side. Per the applicant's submission paperwork, the existing two story office building will be renovated to meet code and have a more modern appearance and will be used by administrative staff for customer service

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duties. The existing accessory building on site has four (4) roll up bay doors and is designed for repair. The applicant will use this portion of the property for auto repair of customer vehicles as well as maintenance to business vehicles. The paved area behind the main building is proposed to store towed vehicles and will be situated behind a sight proof fence line. Mrs. Choat-Cook stated that staff has no issues with the request as there are several similar establishments in this immediate vicinity. Staff would like to state that any vehicles that are wrecked or towed should not be on site any longer than the 120 days as stated in the ordinance under the repair. The towing request allows for additional vehicles to be stored on site but this should be temporary in nature and the vehicles should only be parked on the paved surfaces. Staff recommends a one (1) year conditional use permit with a four (4) year extension pending compliance and annual inspection. After hearing from Mrs. Choat-Cook, the Board of Alderman considered the following resolution:

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI GRANTING CONDITIONAL USE
PERMIT TO MICHAEL LIKENS FOR MOTOR VEHICLE REPAIR SHOP LOCATED
AT 1931 VETERANS DRIVE IN SOUTHAVEN, MISSISSIPPI**

WHEREAS, the City of Southaven's ("City") Planning Commission previously held a hearing on August 28, 2023 for the conditional use permit ("permit") application of Michael Likens (the "Applicant") for a motor vehicle repair shop located at 1931 Veterans Drive in Southaven, Mississippi; and

WHEREAS, the City Code of Ordinances define a "Motor Vehicle Service and Repair" and set forth the requirements as provided in Exhibit A; and

WHEREAS, "Conditional Use" is defined in the City Code of Ordinances at Title XIII, Chapter 1, Section 13-1(b) as "a use that would not be appropriate generally or without restrictions throughout the zoning district but which, if controlled as to number, area, location or relation to the neighborhood, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare;" and

WHEREAS, the Laws of the State of Mississippi, Section 17-1-1 to 17-1-27, inclusive, of the Mississippi Code of 1972, annotated, as amended, empower the City to enact a Zoning Ordinance and to provide for its administration, enforcement and amendment; and

WHEREAS, pursuant to Mississippi Code Ann. Sections 21-17-5, the City has the authority to adopt ordinances with respect to City property including the adoption of all lawful orders, resolutions or ordinances with respect to municipal affairs, property, and finances, and to alter, modify, and repeal such orders, resolutions or ordinances; and

WHEREAS, based on findings of the City Planning Commission at the hearing and City Code of Ordinances and City Staff Report as further set forth in Exhibit A to this Resolution, the City's Planning Commission recommends, subject to the City Board's revocation and the Applicant adhering to all requests and stipulations in the City Staff Report, a conditional use permit with one year extensions at the discretion of the City Board of Aldermen, pursuant to its discretion as set forth in the City Code of Ordinances at Title XIII, Chapter 9, Section 13-9(a); and

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NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

1. Subject to the Board's revocation for violation of the permit or ordinances and Applicant's compliance with the requirements as set forth in the Staff Report attached hereto as Exhibit A, the City Board grants a conditional use permit to the Applicant for motor vehicle repair shop located at 1931 Veterans Drive, Southaven, Mississippi for one (1) year to be renewed annually at the discretion of the City Board of Aldermen and subject to the City Board's revocation.
2. The Mayor and City Planning Director or their designee are authorized to take any and all action to effectuate the intent of this Resolution.

Following the reading of this Resolution, it was introduced by Alderman Hoots and seconded by Jerome. The Resolution was then put to a roll call vote and the results were as follows, to-wit:

Alderman William Jerome	voted: YES
Alderman Kristian Kelly	voted: YES
Alderman George Payne	voted: YES
Alderman Joel Gallagher	voted: YES
Alderman Charlie Hoots	voted: YES
Alderman Raymond Flores	voted: YES
Alderman John Wheeler	voted: YES

Having received a majority of affirmative votes, the Mayor declared that the Resolution was carried and adopted as set forth above on this the 19th day of September, 2023.

CITY OF SOUTHAVEN, MISSISSIPPI

A copy of the staff report is attached and fully incorporated into these minutes.

MAYOR'S REPORT

BankPlus Amphitheater Concerts

Mayor Musselwhite reported that concert season is going very well. The City had one of their biggest events with Brantley Gilbert and Nickelback with a sold out show. Mayor Musselwhite commented that the pedestrian trails allowed the police to separate the pedestrian traffic from the vehicle traffic to allow for better traffic flow.

Fall Street Resurfacing

Mayor Musselwhite explained that the Fall street resurfacing schedule will be sent to Lehman Roberts to get started in October. The plan is to get as many streets on the FY2024 list before the weather gets bad.

I-55 Widening Project

Mayor Musselwhite reported that the I55 and Church Road area have been hampered by the interstate system as there are companies that want to come to Southaven but cannot do business until the traffic infrastructure improves. Mayor Musselwhite stated that a bus tour is scheduled for the

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following day with state legislators and key MDOT officials that will start at the TN state line and travel south for a visual of the need to widen I55.

PERSONNEL DOCKET

Personnel

Docket

September 19, 2023

New Hires	Department	Position Title	Start Date	Rate of Pay
Lasundra Carter	Planning	Code Enforcement Officer	TBD 9/25/2023	\$18.00
Christian Waller	Police	Police Officer 4	3	\$28.97

Promotions	Current Position Title	New Position Title	Effective Date	Rate of Pay
Alexis Clifton	Dispatch 1	Dispatch 2	8/28/2022 3	\$24.50
Daniel Colby Haynes	FireFighter II	FireFighter III	9/19/2022 3	\$18.08
David Payne	Police Officer 3	Police Officer 4	10/9/2022 3	\$28.97

Promotion	Current Position Title	Certification	Effective Date	Rate of Pay
Andrew Mease	LE Certified Code Enforcement Officer	Police Professional Certification	9/1/2023	\$24.00

Stipend	Department	Stipend	Effective Date	Stipend Rate Annually
Ashton Berryhill	Fire	EMT-B	9/6/2023	600.00

Oath of Office

Susanna Taylor

Resignations/Terminations	Department	Current Position Title	Effective Date	Rate of Pay
Joseph Nallick	Police	Police Officer 1	9/5/2023	\$24.99

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Amber White	Emergency Communications	Dispatch 3	9/22/202 3	\$25.00
Jarris Scott	Utility	Sewer Technician	9/19/202 3	\$16.50

**Parks
Tournaments**

New Hires	Position Title	Start Date	Rate of Pay
Marlen Smith	Concession	9/20/2023	\$9.50

Promotions	Current Position Title	New Position Title	Effective Date	Rate of Pay
Madison Ashford	Supervisor Concession	Snowden Head Supervisor	9/20/202 3	\$11.25
Eli Smith	Concession	Cook	9/20/202 3	\$10.25

Resignations/Terminations	Position Title	Effective Date	Rate of Pay
Donna Lucas	Concession	9/20/2023	\$11.25
Cooper Crapa	Concession	9/20/2023	\$10.25
Adam DeClue	Concession	9/20/2023	\$9.50
Destiny Doelling	Concession	9/20/2023	\$9.50
Rylan Siebert	Concession	9/20/2023	\$9.50
Chloe Stewart	Concession	9/20/2023	\$9.50
Skylar Taylor	Concession	9/20/2023	\$9.50

Alderman Payne made the motion to approve the Personnel Docket of September 19, 2023 as presented to this Board. Motion was seconded by Alderman Wheeler.

Roll call was as follows:

ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

Having received a majority of affirmative votes, Mayor Musselwhite declared that the motion was carried on the 19th day of September, 2023.

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CITY ATTORNEY'S LEGAL UPDATE

Mr. Manley stated that the \$3 million dollars of ARPA money approved for the Horn Lake Creek Interceptor District will be transferred this week. The item is being entered into the minutes with no other action taken.

Alcohol Variance

Alderman Flores made the motion to approve an alcohol variance for an event at the Snowden House for Tate Reeves. Motion was seconded by Alderman Wheeler.

Roll call was as follows:

ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

Having received a majority of affirmative votes, Mayor Musselwhite declared that the motion was carried on the 19th day of September, 2023.

BUTLER SNOW CONTRACT

Mr. Manley stated that this request is for a one-year contract extension with Butler Snow for legal services to be effective October 1, 2023 – September 30, 2024. Alderman Gallagher made the motion to authorize Mayor Musselwhite to sign the contract with Butler Snow. Motion was seconded by Alderman Flores.

Roll call was as follows:

ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

Having received a majority of affirmative votes, Mayor Musselwhite declared that the motion was carried on the 19th day of September, 2023.

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A copy of the contract is attached and fully incorporated into these minutes.

UTILITY BILL ADJUSTMENT DOCKET

UTILITIES BILL LEAK ADJUSTMENT DOCKET 09/19/2023						
The addresses below experienced unforeseen circumstances in their utilities for which no benefit was received.						
1	RESIDENT	BRIGHT LARRY	8170	SWINNEA RD	(43.30)	POOL ADJUSTMENT
2	RESIDENT	MORRIS LARRY	1577	IAN	(11.84)	POOL ADJUSTMENT
3	RESIDENT	MILLER BOBBY	7332	FOX TRACE	(53.28)	POOL ADJUSTMENT
4	RESIDENT	BIRDIE LEE COOPERWOOD	8337	CEDARBRUSH	(117.00)	REPLACED SERVICE LINE TO BATHROOM
5	RESIDENT	DANNY ALLISON	2890	SOUTH HARTLAND	(228.15)	TOILET LEAK
6	RESIDENT	ROY THOMPSON	7170	COUNTRY OAKS	(26.01)	REPLACED FITTING ON SPRINKLER SYSTEM
7	RESIDENT	JOHN MAY	7137	ARCASTLE LP W	(65.12)	POOL ADJUSTMENT
8	RESIDENT	DEBORAH NICHOLS	1702	BROOKHAVE N	(47.36)	POOL ADJUSTMENT
9	RESIDENT	JEAN MITCHELL	9144	FOREST	(44.40)	POOL ADJUSTMENT
10	RESIDENT	BELL MARCUS	2433	HEATHER RIDGE	(32.56)	POOL ADJUSTMENT
11	RESIDENT	ARBERRY REDMOND	5695	NICHOLS DR	(26.64)	POOL ADJUSTMENT
12	RESIDENT	CHARLES LEWIS-AMANDA SMITH	2744	AUSTIN JAMES DR	(152.10)	TOILET LEAK
13	RESIDENT	JAY WHITE	1540	TICONDEROG A	(46.80)	TOILET LEAK
14	RESIDENT	LEONARD GLOVER	5984	STAFFORD DR	(148.00)	POOL ADJUSTMENT
15	RESIDENT	FELISHA AND KEITH BURNETT	4375	CHALICE DR	(64.34)	TOILET LEAK
16	RESIDENT	DARRELL GRAHAM	7849	COTTON LN DR	(32.56)	POOL ADJUSTMENT
17	RESIDENT	JEMONTE MARROW	5498	DOE LN	(17.76)	POOL ADJUSTMENT
18	RESIDENT	B.K. HUNTER	2085	CHURCH RD E	(236.45)	3 FAUCETS LEAKING

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19	RESIDENT	AYANNA THOMAS	5665	DEER RIDGE DR	(339.30)	LEAK ON MAIN LINE
20	RESIDENT	NORMAN BRESEMAN	3226	MARCIA LOUISE	(38.48)	POOL ADJUSTMENT
21	RESIDENT	MELISSA CALDWELL	1766	FOREST CV	(210.16)	POOL ADJUSTMENT
22	RESIDENT	CORINNA CECIL	1845	PECAN RIDGE N	(88.80)	POOL ADJUSTMENT
23	RESIDENT	OLLIE MEEKS MOORE	4242	SWEET FLAG LOOP N	(473.85)	TOILET LEAK
24	RESIDENT	JAMES LORRE	285	VILLAGE PKWY	(106.56)	LEAK ON MAIN LINE IN FRONT YARD
25	RESIDENT	CAROLYN ROTEN	380	GARDEN WALK N	(46.80)	TOILET LEAK
26	RESIDENT	LAQUENDRA BURCHETT	2636	PINNACLE DR	(409.01)	LEAK ON MAIN LINE
27	RESIDENT	MALLORY HAEMON	691	WOODSMOKE	(128.70)	TOILET LEAK
28	RESIDENT	KATY COMPTON	8224	BARBERRY PL	(29.25)	TOILET LEAK
29	RESIDENT	GARRETT DUNCAN	2482	ANSLEY PARK LN	(408.94)	POOL ADJUSTMENT
30	RESIDENT	MACK WILCOX	1635	SHERWOOD	(46.80)	TOILET LEAK
31	RESIDENT	DAVID AND MARY CARLISLE	1780	COLONIAL HILLS DR	(198.90)	BATHTUB LEAK
32	RESIDENT	MARILYN MARTIN	2619	PYRAMID	(181.35)	TOILET LEAK
33	RESIDENT	DAKOTA WEST	8082	WHITEBROOK	(115.44)	POOL ADJUSTMENT
34	RESIDENT	NEISHA KOCKZA	4742	DERBY DR	(106.93)	TOILET LEAK
36						
				TOTAL	(4322.94)	

Alderman Payne made the motion to approve the Utility Bill Adjustment Docket of September 19, 2023 in the amount of \$4,322.94. Motion was seconded by Alderman Jerome.

Roll call was as follows:

ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

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Having received a majority of affirmative votes, Mayor Musselwhite declared that the motion was carried on the 19th day of September, 2023.

CLAIMS DOCKET

A motion was made by Alderman Payne to approve the Claims Docket of September 19, 2023 in the amount of \$3,668,168.64. Motion was seconded by Alderman Flores.

Excluding voucher numbers:

406735,406745,406746,406860,406871,406872,407033,407212,407234,407329

Roll call was as follows:

ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

Having received a majority of affirmative votes, Mayor Musselwhite declared that the motion was carried and approved for payment on the 19th day of September, 2023.

Alderman Hoots recused himself and left the room.

SPECIAL CLAIMS DOCKET

A motion was made by Alderman Payne to approve the Claims Docket of September 19, 2023 in the amount of \$18,887.22. Motion was seconded by Alderman Flores.

Roll call was as follows:

ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

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Having received a majority of affirmative votes, Mayor Musselwhite declared that the motion was carried and approved for payment on the 19th day of September, 2023.

Alderman Hoots returned to the room.

EXECUTIVE SESSION

A copy of the Executive Session Minutes are maintained in the City Clerk's Office.

There being no further business to come before the Board of Aldermen, a motion was made by Alderman Flores to adjourn. Motion was seconded by Alderman Jerome. Motion was put to a vote and passed unanimously September 19, 2023 at 8:00 p.m.

Darren Musselwhite,
Mayor

Andrea Mullen,
City Clerk
(Seal)

All exhibits and attachments are electronically filed in the City Clerk's Office.

**THIS REMAINDER OF THIS PAGE WAS LEFT BLANK
INTENTIONALLY**

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE
CITY OF SOUTHAVEN, MISSISSIPPI
APPROVING DONATIONS**

WHEREAS, the City of Southaven ("City") desires to approve certain donations as allowed pursuant to the Mississippi Code; and

WHEREAS, the City pursuant to Mississippi Code 21-19-44 desires to appropriate and contribute budgeted funds for, local economic development organizations; and

WHEREAS, the City pursuant to Mississippi Code 39-3-1 desires to appropriate and contribute budgeted funds for the M.R. Davis Library; and

WHEREAS, the City pursuant to Mississippi Code 39-15-1 desires expend monies from to match other funds available for the purpose of supporting the development, promotion and coordination of the arts within the City; and

WHEREAS, the City, pursuant to Mississippi Code 17-3-1 and 17-3-3 desires to expend moneys for the purpose of advertising and bringing into favorable notice the opportunities, possibilities and resources of the City which will be helpful toward advancing the moral interest of the City; and

WHEREAS, the City, pursuant to Mississippi Code 21-19-65, desires to match other funds via donation or rental donation for the purpose of supporting social and community service programs within the City; and

WHEREAS, the City, pursuant to Mississippi Code 21-17-1(3)(b)(ii), desires to provide rental donations to those entities set forth below which meet the requirements of Mississippi Code 21-17-1(3)(b)(ii); and

NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

1. Pursuant to Mississippi Code 21-19-44 and 21-19-44.1, the City hereby approves donations to the Southaven Chamber in the amount of \$80,000.00 and the Desoto Economic Council in the amount of \$37,941.00 for the purpose of bringing favorable notice and economic opportunities to the City.
2. Pursuant to Mississippi Code 39-3-1, the City hereby approves appropriation to the M.R. Davis Library in the amount of \$300,000.00.
3. Pursuant to Mississippi Code 17-3-1 and 17-3-3 and Mississippi Code 39-15-1, the City hereby approves a donation in the amount of \$40,000.00 to Desoto Family Theatre for the promotion of the arts and favorable notice and opportunities for the arts to the City that the Desoto Family Theatre brings to the City and to serve as matching funds for the Theatre. Also, pursuant to Mississippi Code 17-3-1 and 17-

3-3 and Mississippi Code 39-15-1, the City hereby approves a donation in the amount of \$9,000.00 to the Historic DeSoto Foundation for its museum which contribution will support the development, promotion and coordination of the arts and bring favorable notice to the City.

4. Pursuant to Mississippi Code 17-3-1 and 17-3-3 and Mississippi Code 21-19-65, the City hereby approves donations to The Arc of Northwest Mississippi in the amount of \$30,000.00 and Healing Hearts Child Advocacy Center in the amount of \$40,000.00 for the promotion of the City's moral interest associated with helping abused children by Healing Hearts Child Advocacy and helping individuals with development and intellectual disabilities by the Arc of Northwest Mississippi. The amounts provided to each entity by the City are matching funds for the support of social and community service programs within the City.
5. Pursuant to Mississippi Code 21-19-65 and 21-17-1(3)(b)(ii), the City hereby approves a donation to the House of Grace in the amount of \$9,000.00 for its efforts to help women and The Hope Center in the amount of \$20,000.00; a rental donation for the Arena to the Community Foundation of Northwest Mississippi for its Crystal Ball to help with its mission is to connect and assist donors as well as nonprofit organizations and charitable causes to make a difference with an emphasis on education, health and children in order to impact communities, including individuals and causes in the City.
6. Pursuant to Mississippi Code 21-17-1(3)(b)(2), the City hereby approves a rental donation for use of the BankPlus Amphitheater Plaza for the Homerun 5K Habitat for Humanity fundraiser.
7. The City Clerk's Office is hereby authorized and directed to make such donation from City funds.
8. The City Park's Office is hereby authorized to coordinate the dates and logistics for the rental donations.
9. Upon application and approval by the City Parks Department and City Police Department as it relates to adequate security, the City Board grants an alcohol variance to the Community Foundation of Northwest Mississippi.

REMAINDER OF PAGE LEFT BLANK

Following the reading of the foregoing resolution, Alderman Flores made the motion to adopt the Resolution and Alderman Wheeler seconded the motion for its adoption. The Mayor put the question to a roll call vote and the result was as follows:


Alderman William Jerome	voted: YES
Alderman Kristian Kelly	voted: YES
Alderman George Payne	voted: YES
Alderman Joel Gallagher	voted: YES
Alderman Charlie Hoots	voted: YES
Alderman Raymond Flores	voted: YES
Alderman John Wheeler	voted: YES

RESOLVED AND DONE, this 19th day of September, 2023.



DARREN MUSSELWHITE, MAYOR

ATTEST:


CITY CLERK



**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE
CITY OF SOUTHAVEN, MISSISSIPPI
DECLARING SURPLUS PROPERTY**

WHEREAS, the City of Southaven ("City") Police Department, is presently in possession of certain firearms as set forth in Exhibit A (collectively "the Property") which are no longer needed by the City;

WHEREAS, pursuant to Mississippi Code 17-25-25, it has been recommended by the City Police to the Mayor and Board of Aldermen that the Property be declared as surplus and sold and/or disposed of as appropriate and in accordance with Mississippi Code 17-25-25; and

WHEREAS, the Mayor and Board of Aldermen are desirous of disposing of the Property and it being surplus in accordance with Mississippi Code 17-25-25; and

NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

1. The Property be hereby declared as surplus property.
2. The City Police Chief, or his designee, is hereby authorized and directed to follow Mississippi Code 17-25-25 for the disposition of the Property.

Motion was made by Alderman Flores and seconded by Alderman Payne, for the adoption of the above and foregoing Resolution, and the question being put to a roll call vote, the result was as follows:

Alderman William Jerome	voted:	YES
Alderman Kristian Kelly	voted:	YES
Alderman George Payne	voted:	YES
Alderman Joel Gallagher	voted:	YES
Alderman Charlie Hoots	voted:	YES
Alderman Raymond Flores	voted:	YES
Alderman John Wheeler	voted:	YES

RESOLVED AND DONE, this 19th of September, 2023.

Darren Musselwhite

Darren Musselwhite, MAYOR

ATTEST:

Andrea Muller

CITY CLERK





INTEROFFICE MEMORANDUM

From: Officer Todd Baggett
To: Captain Bryan Rosenberg
Date: August 29th 2023
RE: List of firearms to be declared surplus

Sir,

The following listed firearms are no longer of use by the Southaven Police Department. In accordance with the City of Southaven Policy and Procedure, I respectfully request that these items be declared surplus property. The firearms will then be sold as a lot to the highest bidder.

Primary Case #	Item #	Make	Model	Caliber	Serial Number	Type
2009001539	4	Harrington & Richardson	733	32	AZ024365	Revolver
201300000534	1	Glock	20	10	BSF432US	Pistol
201300050178	1	Lorcin Engineering	L380	380	088450	Pistol
201400050251	1	Taurus	PT738 TCP	380	77526B	Pistol
201400055276	2	Hipoint	CF380	380	P918340	Pistol
201500003940	1	Unknown w/holster	Unknown	6.35	12742	Revolver
20150006674	1	Glock	17GEN4	9	WGH034	Pistol
201500013844	1	Jimenez Arms	J.A. LC380	380	192494	Pistol
201500022539	1	Beretta	PX4 Storm Subcompact	9	PX158674	Pistol
201500024107	1	Talon Industries	T200	9	05813	Pistol
201500063420	1	Taurus	PT140 Millennium Pro	40	SDR56857	Pistol
201500071192	3	Lorcin Engineering	L25	25	159274	Pistol
201500071718	1	Heckler & Koch	USP 40	40	22-43618	Pistol
201600012014	1	Echasa	Fast	22	69210	Pistol
201600042026	1	FIE	Titan	25	311391	Pistol
201600043530	1	Cobra Ent./Kodiak Ind.	FS380	380	FS108329	Pistol

201600046695	1	Ruger	9E	9	335-57240	Pistol
201600059766	1	Glock	23	40	RYP240	Pistol
201600068611	12	IMBEL	1911A1	45	N310924	Pistol
201700000385	5	Smith & Wesson	M&P Bodyguard 38	38	CPK4626	Revolver
201700002658	4	Smith & Wesson	M&P 40 Shield	40	LDF3801	Pistol
201700019120	1	Taurus	PT24/7 G2	40	SIS75780	Pistol
201700023002	1	FIE	Titan Tiger	38	N034968	Revolver
201700023002	2	Taurus	PT809	9	TIY66801	Pistol
201700027647	8	Taurus	PT738 TCP	380	1D016758	Pistol
201700031494	2	Smith & Wesson	M&P 9 Shield	9	HLM4191	Pistol
201700033318	5	Beretta	21A	25	BES34660V	Pistol
201700035307	3	Smith & Wesson	SW40VE	40	PBU0485	Pistol
201700035768	4	Cobra Enterprises	C25	25	058609	Pistol
201700039117	2	Iver Johnson	TP22	22	AE48324	Pistol
201700042921	7	Bersa	Thunder 380	380	A85412	Pistol
201700044314	5	Taurus	PT840C	40	SGY46648	Pistol
201700047105	1	Ruger	P89	9	304-52850	Pistol
201700049877	4	Ruger	P85 MKII	9	303-97797	Pistol
201700056619	3	Ruger	LC9	9	326-25973	Pistol
201700057940	5	Glock	19GEN4	9	BDCM689	Pistol
201700059596	1	Clerke Technicorp.	Clerke 1 st	32	918692	Revolver
201800000169	1	Lorcin Engineering	L380	380	178977	Pistol
201800000605	5	Intratec	Scorpion	22	002419	Pistol
201800002078	4	Taurus	Pub Def Judge Poly	45/410	US712156	Revolver
201800003795	2	Hipoint	C9	9	P140423	Pistol
201800006871	1	Smith & Wesson	Unknown	38	192112	Revolver
201800007182	1	Star, Bonifacio Echeverria	Unknown	9	1177234	Pistol
201800011057	5	Tanfoglio	Unknown	22	83137	Pistol
201800015333	3	Taurus	G2C	9	TL067794	Pistol
201800016124	7	Taurus	PT111 Millennium G2	9	TIZ12599	Pistol
201800019565	6	Llama	Unknown	32	710179	Revolver
201800022413	6	Smith & Wesson	M&P Shield	45	HZU8573	Pistol

			M 2.0			
201800028543	1	Criterion Die & Metal	Unknown	22	138769	Revolver
201800030343	2	Walther	PPX	40	FBA8840	Pistol
201800033614	3	Clerke Technicorp	Clerke 1 st	32	900857	Revolver
201800036353	2	Smith & Wesson	SD40VE	40	FYJ4387	Pistol
201800037633	37	Beretta	92FS Centurion	9	BER364479Z	Pistol
201800041311	2	HS Products	XDS	45	S3233556	Pistol
201800044111	1	Walther	PK380	380	WB078898	Pistol
201800044695	5	Bryco Arms	48	380	060848	Pistol
201800048886	3	Beretta	BU9 NANO	9	NU160028	Pistol
201800048886	4	Taurus	TH9C	9	TLR95503	Pistol
201900022464	3	Smith & Wesson	SD9VE	9	FWM3875	Pistol
201900049973	10	Glock	26GEN4	9	BGCT376	Pistol
201900051562	2	Jennings Firearms	J22	22	271983	Pistol
202200033900	9	Glock w/several mags	19CGEN4	9	ADNH010	Pistol
202300000018	1	Taurus	G3	9	AAM116167	Pistol

Thank You,

Todd Baggett 1345

Officer Todd Baggett
 Crime Scene / Property & Evidence
 Southaven Police Department

task order 22

To: Darren Musselwhite, Mayor - City of Southaven

From: Brian Bullard, AIA, Principal - UrbanARCH Associates

Date: 09-05-2023

Re: UA/Southaven Parks Agreement - Task Order 22
(Southaven Outdoor Tennis Expansion – Phase II)

This Task Order 22 establishes a project-specific task for project design, project management, construction documents and all other efforts required for the construction of eight (8) new outdoor tennis courts complete with fencing, lighting, sidewalks, landscaping, small rest room/storage building, shade pavilions and expansion of adjacent parking lot.

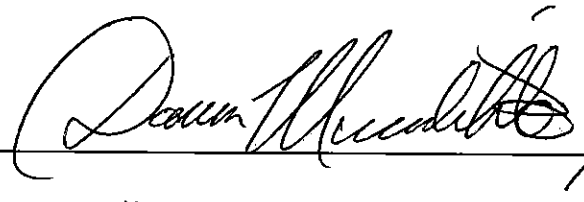
Engineering disciplines included in this task are as follows:

Civil, Structural, HVAC, and Electrical Engineering / Site Lighting

The estimated cost of the work for the project is \$2,300,000.00 inclusive of the parking lot. Design Fee is calculated as 5% of the estimated cost of the work. Therefore, this work effort shall not exceed **\$115,000.00** (lump sum) in fees, not inclusive of reimbursable expenses. Reimbursable expenses shall be invoiced direct plus 5% as agreed in umbrella contract.

Services not included: a).Site Survey, and b).Geotechnical report.

Authorization:

 *Darren Musselwhite*, Mayor, 9-21-23

Name

Title

Date



09/11/2023

SENT VIA EMAIL: egilbert@uarch.com

Wes Brown
City of Southaven

REFERENCE: Snowden Grove Tennis Court Expansion

Dear Mr. Brown,

Civil-Link (CL) is pleased to have this opportunity to provide professional services for the above referenced field survey.

CL's proposed services will consist of performing a topography survey for the expansion of the tennis courts at Snowden Grove. All services will be provided in accordance with Exhibit A, General Terms and Conditions, which is attached and also made a part of this Letter Agreement.

We propose to provide these services at the amount stated below.

<u>TASKS</u>	<u>Cost</u>
Field Survey	\$2,000.00
Office Work	\$1,500.00
Total	\$3,500.00

CL will bill you monthly for work performed on the project. Payment for our services will be due within 30 days of the invoice date and is not dependent on any factor except our ability to provide services in accordance with generally accepted standards of the engineering profession.

Additional Services, beyond those described, may be provided if requested. These services, if requested, will be billed monthly on an hourly basis. Any subconsultant expenses will be billed to you at their actual cost to us times a factor of 1.1

This Letter Agreement consisting of two (2) pages; and Exhibit A, consisting of three (3) pages represents the entire agreement between Civil-Link, LLC and the City of Southaven. The agreement and exhibits may only be modified or amended by a duly executed written document.

Please indicate your acceptance of this proposal by executing this Letter Agreement in the space below and returning one copy to us. Thank you again for the opportunity to be on your team for this great project.

Sincerely,

CIVIL-LINK



Dan Cordell, P.E.

Attachments

Exhibit A: General Terms and Conditions

ACCEPTED:

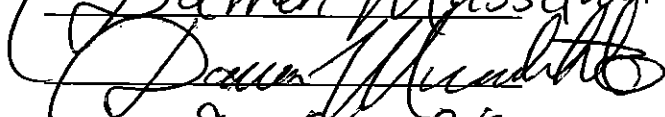
~~Was Brown~~

Darren Musselwhite

NAME:

Darren Musselwhite

SIGNATURE:



DATE:

9-21-23





CITY OF SOUTHAVEN
APPLICATION FOR SPECIAL EVENT PERMIT
 (Must be submitted to the City Clerk's Office 30 days prior to event)

Permit Fee: *Based on Fire Department Permit Fee Schedule*

For Office Use Only
Board Approved _____
Date: _____

EVENT NAME: Cars for A cause Car Show

EVENT LOCATION: Silo Square - 2903 May Blvd, Southaven, MS 38672

EVENT DESCRIPTION: classic car show featuring a kids car show on plaza

EVENT DATE: Beginning Saturday, Sept 30th to Ending Saturday, Sept. 30th Multiple Days: YES NO

EVENT HOURS: Beginning 9:00am to Ending 3:00pm

EVENT POINT OF CONTACT: Leah Brigance CELL NUMBER: (662) 812-8162

EMAIL: leah@silosquarems.com NAME OF ORGANIZATION: Silo Square Foundation

ADDRESS: 2903 May Blvd, Suite 102 CITY/STATE/ZIP: Southaven, MS 38672

ESTIMATED CROWD SIZE: ~200 NUMBER OF EVENT PERSONNEL: ~20

ARRANGEMENTS FOR RESTROOM FACILITIES: YES NO LOCATION: all retail tenants @ silo

ARRANGEMENTS FOR SITE CLEAN-UP: YES NO DETAILS: clean-up crew before & after. Any necessary daily clean-up by hired cleaning crew. Trash cans on-site.

Will the organizers of this event use the services of a UAS (unmanned aircraft system): YES NO

If Yes, who is the operator of the system: N/A

Cell Number: N/A Email Address: N/A

If a UAS/Drone will be utilized, a copy of the following required documents must be attached to this application:

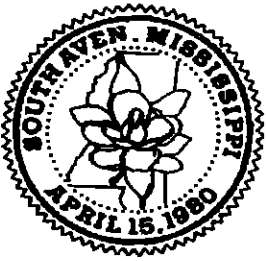
- Section 333 Exemption or Aircraft Certification
- Certificate of Authorization (COA)
- Aircraft Registration and Markings
- Pilot Certificate

FIRST AID/MEDICAL STATION(S): YES NO LOCATION: basic first aid at retail stores
request to close May Blvd. for pedestrian traffic. divert traffic w/ help of SPD

POLICE/SECURITY PERSONNEL REQUIRED: Police Dept. Assigned Self-Hired Not Applicable

Applicant Printed Name: Leah Brigance Contact Number: (662) 812-8162

Applicant Signature: [Signature] Date: 8/18/23



CITY OF SOUTHAVEN
APPLICATION FOR SPECIAL EVENT PERMIT
 (Must be submitted to the City Clerk's Office 30 days prior to event)

Permit Fee: *Based on Fire Department Permit Fee Schedule*

<p align="center">For Office Use Only</p> <p>Board Approved _____</p> <p>Date: _____</p>

EVENT NAME: Christmas at Silo Square (Christmas Open House)

EVENT LOCATION: Silo Square - 2902 May Blvd, Southaven, MS 38672

EVENT DESCRIPTION: Christmas "Open House" - horse drawn carriages, Santa/Santa pictures, photo booth, DeSoto County High School Marching Bands, tree lighting ceremony, dance studios, etc.

EVENT DATE: Beginning Thurs. Nov 9 to Ending Sat. Nov 11 Multiple Days: YES NO

EVENT HOURS: Beginning 11/9 - 4pm to Ending 11/9 - 7pm
11/10 - 4pm to Ending 11/10 - 7pm
11/11 - 10am to Ending 11/11 - 1pm

EVENT POINT OF CONTACT: Leah Brigrance CELL NUMBER: (662) 812-8162

EMAIL: leah@silosquarems.com NAME OF ORGANIZATION: Silo Square

ADDRESS: 2903 May Blvd. CITY/STATE/ZIP: Southaven, MS 38672

ESTIMATED CROWD SIZE: ~700 NUMBER OF EVENT PERSONNEL: ~30

ARRANGEMENTS FOR RESTROOM FACILITIES: YES NO LOCATION: all commercial tenants @ Silo

ARRANGEMENTS FOR SITE CLEAN-UP: YES NO DETAILS: any necessary clean-up before/after by Larry Martin or mgmt. company

Will the organizers of this event use the services of a UAS (unmanned aircraft system): YES NO
 If Yes, who is the operator of the system: N/A

Cell Number: N/A Email Address: N/A

If a UAS/Drone will be utilized, a copy of the following required documents must be attached to this application:

- Section 333 Exemption or Aircraft Certification
- Certificate of Authorization (COA)
- Aircraft Registration and Markings
- Pilot Certificate

FIRST AID/MEDICAL STATION(S): YES NO LOCATION: basic first aid kits @ all retail nearest to dose May Blvd. for pedestrian traffic divert traffic w/ help of SPD

POLICE/SECURITY PERSONNEL REQUIRED: Police Dept. Assigned Self-Hired Not Applicable

Applicant Printed Name: Leah Brigrance Contact Number: (662) 812-8162

Applicant Signature: [Signature] Date: 8/18/23



CITY OF SOUTHAVEN
APPLICATION FOR SPECIAL EVENT PERMIT
 (Must be submitted to the City Clerk's Office 30 days prior to event)

Permit Fee: *Based on Fire Department Permit Fee Schedule*

<p align="center">For Office Use Only</p> <p>Board Approved _____</p> <p>Date: _____</p>

EVENT NAME: BUY A TREE. CHANGE A LIFE. at Silo Square

EVENT LOCATION: Silo Square Park

EVENT DESCRIPTION: Christmas tree sales for nonprofit, Buy A Tree. Change A Life. Tent will hold Christmas trees, volunteer van, all proceeds benefit global orphans +

Healing Hearts Child Advocacy Center.

EVENT DATE: Beginning Fri, Nov. 17th to Ending Sun, Dec. 3rd Multiple Days: YES NO

M-W: 3pm M-W: 6:30pm
 Th-Fr: 1pm Th-Fr: 6:30pm

EVENT HOURS: Beginning Sat-Sun: 10 am to Ending Sat-Sun: 6:30pm

EVENT POINT OF CONTACT: Leah Brigrance CELL NUMBER: (662) 812-8162

EMAIL: leah@silosquarems.com NAME OF ORGANIZATION: Silo Square Foundation

ADDRESS: 2903 May Blvd. #102 (on-site host) CITY/STATE/ZIP: Southaven, MS 38672
7206 Moffett Rd. (headquarters) Mobile, AL 36618

ESTIMATED CROWD SIZE: ~100/day NUMBER OF EVENT PERSONNEL: ~30/day

ARRANGEMENTS FOR RESTROOM FACILITIES: YES NO LOCATION: N/A

ARRANGEMENTS FOR SITE CLEAN-UP: YES NO DETAILS: daily/nightly volunteers to clean site daily as needed. Hired clean up crew if needed. Trash cans on-site. Access to dumpsters available.

Will the organizers of this event use the services of a UAS (unmanned aircraft system): YES NO

If Yes, who is the operator of the system: N/A

Cell Number: N/A Email Address: N/A

If a UAS/Drone will be utilized, a copy of the following required documents must be attached to this application:

- Section 333 Exemption or Aircraft Certification
- Certificate of Authorization (COA)
- Aircraft Registration and Markings
- Pilot Certificate

FIRST AID/MEDICAL STATION(S): YES NO LOCATION: N/A

POLICE/SECURITY PERSONNEL REQUIRED: Police Dept. Assigned Self-Hired Not Applicable

Applicant Printed Name: Leah Brigrance Contact Number: (662) 812-8162

Applicant Signature: [Signature] Date: 8/18/23

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI
ADJUDICATING THE COST OF CLEANING PROPERTY, IMPOSING A
PENALTY AND IMPOSING LIEN OF
THE SAME AGAINST PROPERTY**

WHEREAS, the City of Southaven ("City") has the authority, pursuant to Section 21-19-11 of the Mississippi Code (1972) to clean up property within the City, under circumstances which create a menace to the public health and safety of the community, and

WHEREAS, the Mayor and Board of Aldermen conducted hearings regarding various properties, as set forth in Exhibit A, and determined that the conditions and circumstances of such properties created a menace to the public health and safety of the community, and ordered the clean-up of the properties, and

WHEREAS, pursuant to the authority granted to the City, the Mayor and Board of Aldermen contracted with an outside contractor who has undertaken and completed the clean-up of the properties, and

WHEREAS, the Mayor and Board of Aldermen have heard proof and find as a fact that the actual cost of the clean-up is as attached hereto as Exhibit A, and

WHEREAS, the Mayor and Board of Aldermen are desirous of imposing a penalty of Two Hundred Fifty Dollars and 00/100 (\$250.00) per property per cutting, and

WHEREAS, the Mayor and Board of Aldermen deem and resolve that the clean-up cost and penalty shall be collected as a lien against property and if not paid, the lien shall be converted as an assessment against each property, to be collected by the Tax Collector in the manner employed for the collection of all other taxes and assessments of the municipality, unless sooner collected through other means.

NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

1. The actual cost of the clean-up of properties listed in Exhibit A be assessed to the property and the same is hereby determined to be as set forth in Exhibit A attached hereto.
2. A penalty in the amount of \$250 per lot per cutting as listed above be, and the same is hereby imposed against each parcel in addition to the actual cost of the property clean-up.
3. The total amount, as set forth above, be, and the same is hereby assessed against each property, to be filed as a lien and if not collected, to be converted as an assessment to be collected by the Tax Collector in the

manner used for collection of other municipal taxes and assessments, unless sooner collected through other means.


Following the reading of this Resolution, it was introduced by Alderman Payne and seconded by Alderman Kelly. The Resolution was then put to a roll call vote and the results were as follows, to-wit:

Alderman William Jerome	voted: YES
Alderman Kristian Kelly	voted: YES
Alderman George Payne	voted: YES
Alderman Joel Gallagher	voted: YES
Alderman Charlie Hoots	voted: YES
Alderman Raymond Flores	voted: YES
Alderman John Wheeler	voted: YES

RESOLVED AND DONE this 19th day of September, 2023.


DARREN MUSSELWHITE, MAYOR

ATTEST:


CITY CLERK



Address	Cuttings	Penalty	Enrollment & Release	Total
1122 Warwick Place	1	250.00	8.00	258.00
680 Thornwood Place	1	250.00	8.00	258.00
8589 Lakeshore Dr.	1	250.00	8.00	258.00
8044 Jamesbrook	1	250.00	8.00	258.00
920 Main St	1	250.00	8.00	258.00
568 Havenhill Cove	1	250.00	8.00	258.00
8182 Oakbrook	1	250.00	8.00	258.00
8206 Cedarbrook	1	250.00	8.00	258.00
9076 Southview	1	250.00	8.00	258.00
5445 Bradley Lane	1	250.00	8.00	258.00
1925 Stateline Rd	1	250.00	8.00	258.00
7885 Hwy 51	1	250.00	8.00	258.00
PARCEL # 1074190700110600	1	250.00	8.00	258.00
PARCEL # 1074190700110700	1	250.00	8.00	258.00
PARCEL # 1074190700110800	1	250.00	8.00	258.00
PARCEL # 1074190700110900	1	250.00	8.00	258.00
PARCEL # 1074190700111000	1	250.00	8.00	258.00
PARCEL # 10741900000000200	1	450.00	8.00	458.00
PARCEL # 10841925000000200	1	500.00	8.00	508.00
PARCEL# 10842004000000100	1	550.00	8.00	558.00
PARCEL # 10841706000000100	1	350.00	8.00	358.00
PARCEL # 1086140000001900	1	500.00	8.00	508.00
PARCEL# 10851500000000100	1	850.00	8.00	858.00
PARCEL# 10862400000000500	1	550.00	8.00	558.00
PARCEL# 10782813000019100	1	350.00	8.00	358.00

SUMMARY CONTRACT CHANGE ORDER

DATE:	9/1/2023	ORDER NO.:	1 & Final
CONTRACT FOR:	GETWELL ROAD MULTIUSE TRAIL CONNECTION (NAIL TO MAY BLVD)		
OWNER:	CITY OF SOUTHAVEN		
CONTRACTOR:	PHILLIPS CONTRACTING CO., INC.		

You are hereby requested to comply with the following changes from the contract plans and specifications:

Description of Changes (Supplemental Plans and Specifications Attached)	DECREASE in Contract Price	INCREASE in Contract Price
Item 3 - Removal of Asphalt Pavement, All Depths		\$ 831.88
Item 4 - Removal of Pipe, All Types	\$ 1,491.00	
Item 5 - Removal of Curb & Gutter, All Types		\$ 3,890.80
Item 7 - Unclassified Excavation		\$ 3,407.92
Item 8 - Borrow Excavation		\$ 622.00
Item 9 - Sodding		\$ 12,390.00
Item 10 - Silt Fence	\$ 1,775.00	
Item 11 - Wattles, 20"	\$ 1,500.00	
Item 12 - Soil Cement (6" Depth)(Estimated 8% by Vol)		\$ 32,000.00
Item 13 - 12.5mm, ST, Asphalt Pavement for Overlaying		\$ 99,480.00
Item 14 - Concrete Sidewalk W/O Reinforcement		\$ 3,845.80
Item 15 - Class "B" Structural Concrete, Minor Structures	\$ 20,118.75	
Item 16 - Reinforcing Steel	\$ 1,306.00	
Item 17 - 18" Reinforced Concrete Pipe, Class III	\$ 5,785.50	
Item 18 - 29" X 18" Reinforced Concrete Arch Pipe, Class A III	\$ 3,920.00	
Item 20 - Riprap, Size 100 w/ Geotextile Fabric	\$ 395.60	
Item 21 - Combination Curb and Gutter Type 1		\$ 1,906.84
Item 22 - Legend, 24" Thermoplastic Stop Bar	\$ 3,750.00	
Item 23 - Size 610 Crushed Stone		\$ 3,381.30
Item 24 - Contingency Allowance	\$ 22,000.00	
TOTALS	\$ 62,041.85	\$ 101,756.54
NET CHANGE IN CONTRACT PRICE		\$ 39,714.69

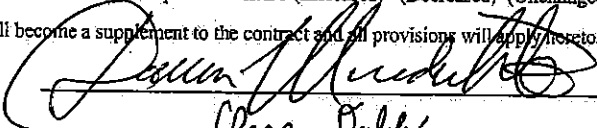
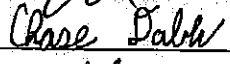
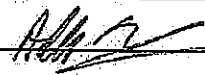
JUSTIFICATION: This summary change order adjusts original contract quantities to match final measure quantities. This change order includes the additional work of the Springfest parking lot addition.

The amount of the Contract will be ~~(Decreased)~~ (Increased) By The Sum Of: Thirty Nine Thousand Seven Hundred
Fourteen Dollars and Sixty Nine Cents Dollars \$ 39,714.69

The Contract Total Including this and previous Change Orders Will Be: Seven Hundred One Thousand
Twelve Dollars and Sixty Nine Cents Dollars \$ 701,012.69

The Contract Period Provided for Completion Will Be ~~(Increased)~~ ~~(Decreased)~~ (Unchanged)

This document will become a supplement to the contract and all provisions will apply hereto.

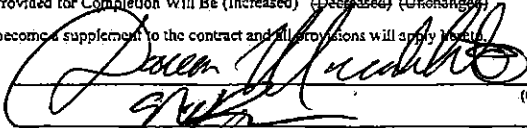

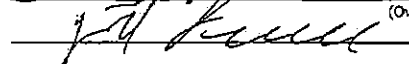
Accepted  (Owner)
 Recommended  (Owner's Architect/Engineer)
 Accepted  (Contractor)

9-21-23 (Date)
9/6/23 (Date)
9/6/2023 (Date)

SUMMARY CONTRACT CHANGE ORDER

DATE:	8/29/2023	ORDER NO.	1 & Final
CONTRACT FOR:	PEPPERCHASE DRIVE EXTENSION		
OWNER:	CITY OF SOUTHAVEN		
CONTRACTOR:	FERRELL PAVING, INC.		
You are hereby requested to comply with the following changes from the contract plans and specifications:			
Description of Changes (Supplemental Plans and Specifications Attached)	DECREASE in Contract Price	INCREASE in Contract Price	
Item 3 - Removal of Asphalt Pavement, All Depths		\$	1,531.20
Item 5 - Removal and Resetting of Fence		\$	54,067.00
Item 7 - Unclassified Excavation, FME		\$	1,346.40
Item 8 - Undercut Excavation	\$ 37,208.24		
Item 9 - Temporary Grassing	\$ 5,200.00		
Item 10 - Sit Fence		\$	1,370.00
Item 11 - Wattles, 20'	\$ 6,948.70		
Item 12 - Ditch Liner		\$	29,035.80
Item 13 - Permanent Seeding, Fertilizer, and Mulching		\$	3,404.00
Item 14 - Soil Cement (10' Depth)(Estimated 8% by Vol)		\$	1,864.98
Item 15 - 19-mm, ST, Asphalt Pavement for Patching		\$	52,709.40
Item 16 - 19-mm, ST, Asphalt Pavement for Overlaying	\$ 24,537.48		
Item 17 - 9.5-mm, ST, Asphalt Pavement		\$	36,142.20
Item 18 - Cold Milling of Bituminous Pavement, All Depths	\$ 4,543.75		
Item 21 - 18" Reinforced Concrete Pipe, Class III		\$	366.00
Item 25 - 22" X 13" Concrete Arch Pipe, Class A III		\$	981.60
Item 26 - 29" X 18" Concrete Arch Pipe Pipe, Class A III		\$	1,156.00
Item 33 - Riprap, Size 200 w/ Geotextile Fabric	\$ 3,779.10		
Item 37 - Combination Concrete Curb and Gutter Type 1		\$	2,589.75
Item 38 - 6" Thermoplastic Traffic Stripe, Skip White		\$	299.28
Item 39 - Thermoplastic Traffic Stripe, Continuous White		\$	368.48
Item 40 - Thermoplastic Traffic Stripe, Continuous Yellow		\$	786.94
Item 41 - Detail Traffic Stripe, White		\$	4,861.05
Item 42 - Legend, 24" Thermoplastic Stop Bar		\$	27.60
Item 43 - Legend	\$ 16.10		
Item 44 - Two-Way Yellow Reflective Raised Markers		\$	64.40
Item 45 - Clear-Clear Reflective Raised Markers		\$	690.00
Item 50 - Contingency Allowance	\$ 292,561.05		
Item 51 - Foundation Fill Rock for Box Culverts	\$ 2,429.55		
Item 54 - Seeding		\$	17,656.65
TOTALS	\$ 376,323.97	\$	211,138.73
NET CHANGE IN CONTRACT PRICE		\$	(165,185.22)

JUSTIFICATION: This summary change order adjusts original contract quantities to match final measure quantities. This change order additionally adds contract time for delays due to utility conflicts.

The amount of the Contract will be (Decreased) (Increased)	By The Sum Of:	One Hundred Sixty Five Thousand
One Hundred Eighty Five Dollars and Twenty Two Cents		Dollars \$ (165,185.22)
The Contract Total Including this and previous Change Orders Will Be:		Two Million Four Hundred Twenty
Three Thousand Nine Hundred Seventy Three Dollars and Thirty Eight Cents		Dollars \$ 2,423,973.38
The Contract Period Provided for Completion Will Be (Increased) (Decreased) (Unchanged)		249 Days.
This document will become a supplement to the contract and all provisions will apply thereto.		
Accepted		9-25-23 (Date)
Recommended		9/13/23 (Date)
Accepted		9/12/23 (Date)

RESOLUTION GRANTING AUTHORITY TO CLEAN PRIVATE PROPERTY

WHEREAS, the governing authorities of the City of Southaven, Mississippi, have received numerous complaints regarding the parcel of land located at the following address, to-wit:

CONDEMNATION ADDRESS

1336 BROOKHAVEN

8411 OLD FORGE Rd.

To the effect that the said parcel of land has been neglected whereby the grass height is in violation and there exist other unsafe conditions and that the parcel of land in the present condition is deemed to be a menace to the public health and safety of the community.

WHEREAS, pursuant to Section 21-19-11 of the Mississippi Code Annotated (1972), the governing authorities of the City of Southaven, Mississippi, provided the owners of the above described parcel of land with notice of the condition of their respective parcel of land and further provided them with notice of a hearing before the Mayor and Board of Aldermen on Tuesday, **September 19, 2023** by United States mail and by posting said notice, to determine whether or not the said parcel of land were in such a state of uncleanness as to be a menace to the public health and safety of the community.

WHEREAS, none of the owners of the above described parcel of land appeared at the meeting of the Mayor and Board of Aldermen on Tuesday, **September 19, 2023**, to voice objection or to offer a defense.

NOW, THEREFORE, BE IT HEREBY RESOLVED, by the Mayor and Board of Alderman of the City of Southaven, Mississippi, that the above described parcel of land located at:

CONDEMNATION ADDRESS

1336 BROOKHAVEN

8411 OLD FORGE Rd.

is deemed in the existing condition to be a menace to the public health and safety of the community.

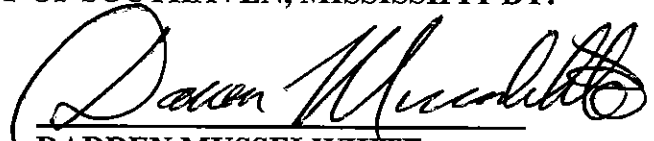
BE IT FURTHER RESOLVED that the City of Southaven shall, if the owners of the above described parcel of land do not do so themselves, immediately proceed to clean the respective parcel of land, by the use of municipal employees or by contract, by cutting weeds and grass and removing rubbish and other debris.

Following the reading of this Resolution, it was introduced by Alderman Payne and seconded by Alderman Kelly. The Resolution was then put to a roll call vote and the results were as follows, to-wit:

ALDERMAN	VOTED
Alderman George Payne	YES
Alderman Kristian Kelly	YES
Alderman Charlie Hoots	YES
Alderman William Jerome	YES
Alderman Joel Gallagher	YES
Alderman John David Wheeler	YES
Alderman Raymond Flores	YES

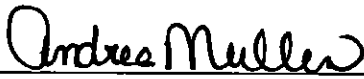
The Resolution, having received a majority vote of all Aldermen present, was declared adopted on this, the 19th of September 2023.

CITY OF SOUTHAVEN, MISSISSIPPI BY:



DARREN MUSSELWHITE
MAYOR

ATTEST:



ANDREA MULLEN
CITY CLERK
(S E A L)



Network: Sep 5, 2023 at 1:58:56 PM CDT

Local: Sep 5, 2023 at 1:58:56 PM CDT

N 34.982951°, W 89.978145°

8370 Old Forge Rd

Southaven MS 38671

United States

Network: Sep 5, 2023 at 2:00:51 PM CDT

Local: Sep 5, 2023 at 2:00:51 PM CDT

N 34.983340° W 89.978246°

841 Old Forge Rd

Southaven MS 38671

United States



Network: Sep 5, 2023 at 1:59:16 PM CDT

Local: Sep 5, 2023 at 1:59:16 PM CDT

N 34.983582° W 89.978324°

8421 Old Forge Rd

Southaven MS 38671

United States



Network: Sep 1, 2023 at 2:16:02 PM CDT

Local: Sep 1, 2023 at 2:16:01 PM CDT

10/19/2023
10/19/2023
10/19/2023



1019 Northwest Drive
Birmingham, MS 38671
Phone: 205-280-6523
Fax: 205-280-6534
www.haven.org

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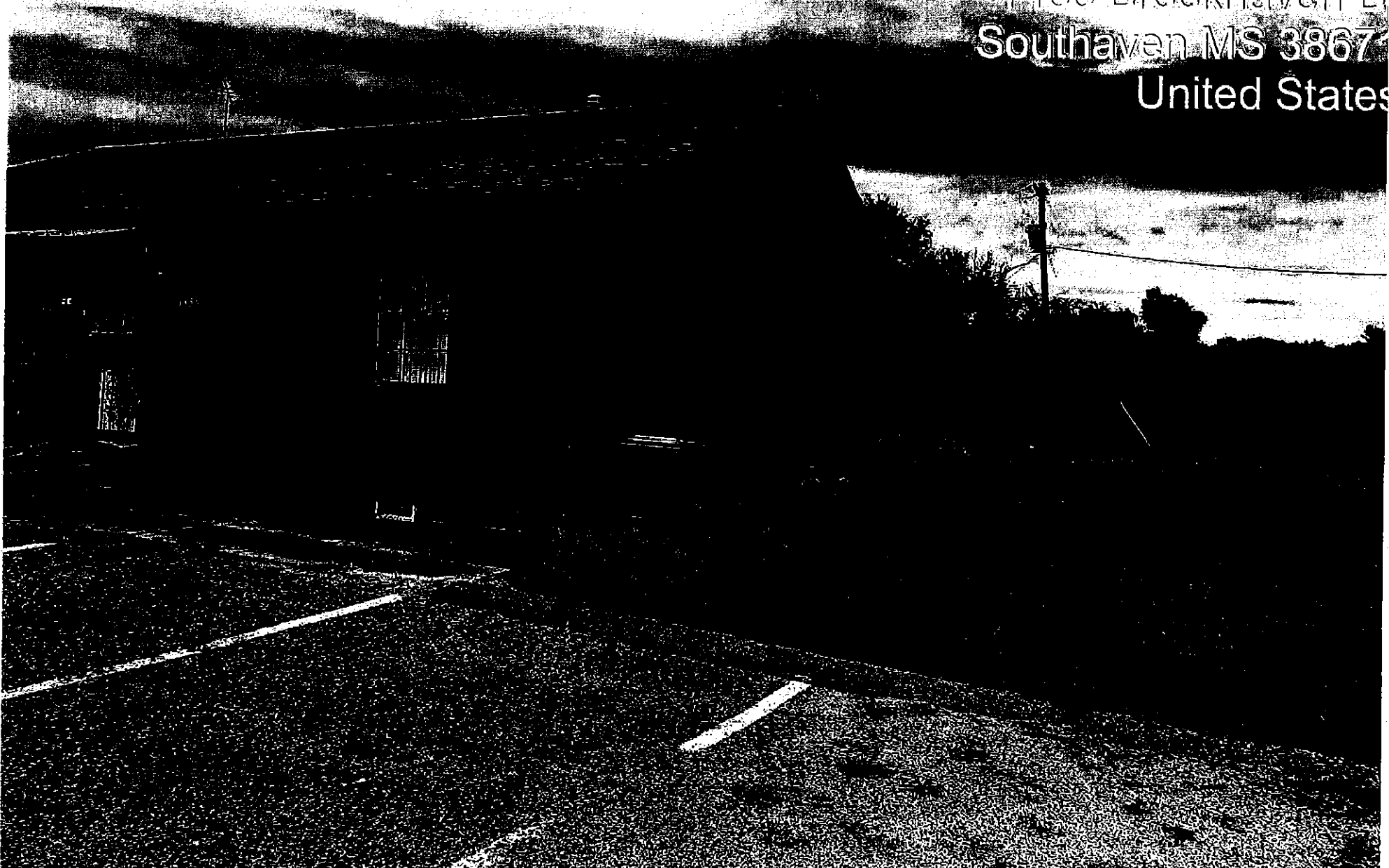
Local; Sep 1, 2023 at 2:16:27 PM CDT

N 34.981766°, W 90.013766°

1483 Brookhaven Dr

Southaven MS 3867

United States



Network: Sep 1, 2023 at 2:17:00 PM CDT

Local: Sep 1, 2023 at 2:17:00 PM CDT

N 34.981855°, W 90.013704

1483 Brookhaven Dr

Southaven MS 38671

United States



City of Southaven
Office of Planning and Development
Conditional Permit Use Staff Report



Date of Hearing:	July 31, 2023
Public Hearing Body:	Planning Commission
Applicant:	M & N Property, Inc. 156 Owls Roost Lane Cordova, TN 38018 901-550-3064
Total Acreage:	5.92 acres
Existing Zone:	PUD Dickens Place (Underlying C-1)
Location of Conditional Use Application:	Northwest corner of Getwell Road and College Road
Requirements for CUP:	See below
Comprehensive Plan Designation:	Neighborhood Commercial

Staff Comments:

The property is identified under the Dickens Place PUD as a Neighborhood Commercial (C-1) area with 5.92 acres on the northwest corner of Getwell Road and College Road. The applicant is requesting a conditional use to allow gas pumps as an accessory use to a retail store on this parcel of land. The current conditions of the land is a vacant property with no formal approvals for development on site. Staff recommendations below identify both the applicants argument for approval and the city's response to those items.

Staff Recommendations:

1. The property is identified as 5.92 acres of commercial property in the Dickens Place PUD with an underlying zoning of C-1. Per the city of Southaven Code of Ordinance, "gas pumps as an accessory use to a convenience store" are not allowed through any formal process including a conditional use permit in C-1 zones of the city. Only in C-3 and C-4 zones are they reviewed under the CUP requirements. It is the staff's opinion that this application is invalid;
2. The applicant submitted a site plan application back in 2018 which was tabled by the Planning Commission due to numerous changes on the site plan and the requirement for a traffic study. To date, a revision application has not been submitted to staff or to the Planning Commission nor has a traffic study been submitted and reviewed by engineering. The original hearing was June 25, 2018 where the site plan was tabled. The July 30th hearing had no re-submittals and no representation so the project remained tabled. On August 27th there was no agenda. On September 24, there was

no re-submittal or representation at the hearing; Commissioner Leeke made a motion to un-table the item which was unanimously voted on. Commissioner Camp then made a motion to deny which was seconded by Commissioner English and voted unanimously on.

3. The Planning Commission should not be held to regulations from 4 years ago with the original site plan application, let alone 25+ years ago. Per city code Title XIII, Chapter 3 Sec. 13-3 (h). Procedures for application (d) *“Compliance with zoning ordinances and subdivision regulations. Design review approval does not relieve the applicant of compliance with the existing zoning ordinance and subdivision regulations or any additional applications required for the future development of said site.”* The applicant’s argument that the site was approved in 1997 under county rules and regulations and should be allowed per those rules and regulations is not a valid argument to staff. Each individual site in the city is required to abide by existing rules set forth in the ordinance. For individual projects to claim allowances under previous zoning laws would prevent any city from restricting or regulating.
4. The applicant is required to submit support details for:
 - a. Does not substantially increase traffic hazards or congestion- The two highest yielding traffic generating uses are a quick service restaurant with drive thorough and a gas station. Staff has not been provided documentation verifying this because the original site plan submittal response from the Planning Commission required a traffic study which has never been done. Staff does not believe that that this use would not increase traffic and/or congestion. ;
 - b. Does not substantially increase fire hazards- Agree
 - c. Does not adversely affect the character of the neighborhood- The residents of Cherry Tree, Dickens Place and The Brambles would strongly disagree with this statement as evident from the emails, phone calls and petition submitted to staff. All three other corners have been designed and approved with residential office space and small footprint neighborhood commercial to help preserve the residential aspect of the intersection. Placing a gas station on the fourth corner negatively affects not only the residents but the adjacent businesses as well;
 - d. Does not adversely affect the general welfare of the City- Agree
 - e. Does not overtax public facilities or community facilities- Agree
 - f. Does not conflict with the Comprehensive Plan- the Comprehensive Plan’s Future Land Use Map calls for the corners at this intersection to be Residential Office/Neighborhood Commercial. Neither of those zoning designations allow for gas stations so the applicants argument that it complies with the Comprehensive Plan is inaccurate. The applicant also provides text from the current comprehensive plan showing that “neighborhood commercial land...provide convenience retail goods to the nearby residents. Examples include convenience stores...”. Staff would agree that those stores do play a role in C-1 zoning and there are examples of that shown with Walgreens, CVS, etc. Nowhere in the Comprehensive plan does it state gas stations which are not one in the same as a convenience store, should be allowed. Staff researched the legal definition of

convenience store as “a retail commercial establishment supplying groceries, sundries and other daily household necessities to the immediate area.”

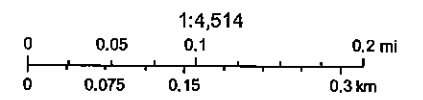
5. The applicant states that there are no instances where convenience stores have been approved without the allowance of gas pumps; however, the city has approved 2 in the past 2 years. The most recent one is a renovation project at the corner of Stateline Road and Millbranch Road in the old Rite Aid building. The gas pumps were originally proposed and then removed by the applicant due to concerns with the city departments. The second application was on Airways Blvd. which the applicant turned the site into a Mediterranean food market once it was decided that the gas kiosks could not be used. There is also a third one being proposed which is in review process at present time in the Planning dept. These uses are viable to the communities and have been successful. The argument that a food store cannot sustain or be approved without gas pumps is inaccurate.
6. The applicant states that this site is similar to the intersection of Church Road and Getwell Road and also Getwell Road and Star Landing Road has some discrepancies and it not an apples to apples argument. Church Road and Getwell Road are both five lanes which places the intersection as “major”. Additionally, the northeast corner and southeast corner of that intersection are both in PUD’s which itemized out the allowance of convenience stores with gas pumps. The Dickens Place PUD provided a blanket zoning of C-1 which is not the same. Additionally, the gas station on the northwest corner of Star Landing Road and Getwell Road did the exact same thing in their PUD text. The gas station approved on the county side of that intersection was opposed by the City and the City had no regulatory control of that site;
7. As the applicant has noted, there are currently two existing gas stations and two approved under construction ones within a 2 mile stretch of Getwell Road from Church Road to Star Landing. Staff believes that to be beyond sufficient for driver’s accessibility. Staff does not see evidence that a fifth gas station within a two mile area is necessary;
8. The applicant has 5.92 acres of prime property in a Neighborhood Commercial zone of the city. The city code has an abundance of allowances in that area per our zoning regulations.

This property is identified and acknowledged as a Neighborhood Commercial (C-1) property within the city limits of Southaven. Title XIII, Section 13-12 (m) specifically shows that the allowance of gas pumps is not permitted in any context; therefore, staff considers this application to be null and void. Furthermore, it is staff’s stance that the property is not approved for any uses at this time based on the previous void of application. Any proposed use moving forward will need to submit a new formal application for review and recommendation by the Planning Commission and Board of Alderman.

Staff recommends denial based on the comments above.



August 21, 2023



IPD,LLC

CIVIL ENGINEERING

**2700 STONE BROOK
NESBIT, MISSISSIPPI 38651**

**662-393-3346
FAX 662-536-6183**

Date: May 23, 2023
Whitney Choat, Planning Director
Southaven Planning Department
8710 Northwest Street
Southaven, MS 38671

RE: Conditional Use Application to Allow Fuel Pumps

Dear Whitney,

We are pleased to submit to your office an application to allow fuel pumps as a conditional use for a previously permitted Convenience Store at the Northwest corner of Getwell and College Roads. This corner was part of the Dicken's Place PUD which received final Desoto County Board of Supervisors approval in 2007 by a unanimous vote (See Exhibit A). The Board, believed at that time by witness of their vote that the subject corner and the Southwest corner met the requirements for commercial uses. The Northwest corner is 5.9 acres in size (See Exhibit E) and designated in the PUD preliminary plat and text to be in a ~~C-1 District~~ C-2 District. The Southwest corner was designated to be in the C-2 District. At the time of the County approval of the PUD, a C-2 District allowed a Convenience store with fuel pumps. ~~The C-1 District allowed a Convenience store but fuel pumps were listed under Conditional Uses.~~ The City of Southaven later annexed the Dickens's Place PUD in entirety and by law, assumed the PUD's preliminary plan and governing text. The residential portion of the PUD has developed completely and the Southwest corner of Getwell and College roads has an office complex. An approved PUD District is a contract between the developer/owner and a Governing Authority. It cannot be changed without the consent of both parties. Recently the City of Olive Branch reached the same conclusion in a very similar situation where a PUD was approved in the nineties by Desoto County Board of Supervisors. The PUD property was later annexed by that City. The City's attorney's opinion was that the original PUD requirements (Plan and Text) still governed the development of the site, not new requirements for locating Convenience Stores recently adopted by the City. The Olive Branch Board of Zoning Adjustment unanimously approved the conditional use for fuel pumps although the site did not meet one of the new requirements. There was no appeal of its decision.

We believe that this site, ~~even though a Convenience Store is permitted~~ for this site, an effort should be made to show that it meets the new requirements imposed by the City of Southaven. The ordinance states that any new site for a Convenience store must meet the additional requirements (See exhibit F):

1. *Site must be at a "hard corner". A "hard corner" is defined as what is formed when two streets meet. Getwell is shown on the Southaven Comprehensive Development Plan as a major arterial and College Road as a minor collector. (See Exhibit C) This intersection is now under*

construction as a major one with turning lanes, traffic lights and street lights.

2. The site must be at a lighted intersection. As stated above, the intersection will be fully traffic regulated and lighted.
3. There must be only two Convenience Stores at an Intersection. Presently there is only one store approved which is this one. The Southwest corner is zoned C-2, which allows a Convenience store with pumps, but is developed with a new office complex. The Southwest corner was recently approved by the Southaven Board of Alderman for an office complex leaving only the Northeast corner available for another store. Thus, a maximum of 2 is what can be developed.

I believe we have met the new requirements. The previous and present requirements for a Conditional Use will now be addressed.

Exhibits included:

EXHIBIT	DESCRIPTION
A.	Dicken's Place PUD Prelim Plan
B.	Dicken's Place Neighborhood Retail Center Site Plan
C.	Southaven Functional Classification of Roads
D.	1.5 Mile Parcel Map
E.	Property Plat
F.	City Ordinance Amendment
G.	Locations of Existing and Proposed Stores

Does Not Substantially Increase Traffic or Congestion

The Community and Environmental Defense Services (CEDS) has produced a document titled "How to stop Poorly/Planned Gas Stations & Convenience Stores" I will be using data and information contained in that document.

1. CEDS: Each fueling position generates 100-130 trips per day
2. CEDS: The convenience store will generate 800-1200 trips per day per 1000 S.F.
3. CEDS: Of those trips, most will result from those who would be passing by the gas station anyway. In other words, a typical gas station does not add to the volume of traffic on a given road.

It can be determined from this information that, unless it is a super convenience market/gas station, like a Buc-ee's, which increase the trips "note above" by 24%(CEDS), these fuel pumps will not increase the traffic volume on either road. As far as congestion, the intersection of Getwell and College Roads are under contract to be improved by widening both Getwell Road and College Road. The intersection will be lighted and signalized. If the intersection of Starlanding and Getwell Roads isn't congested now, with the existing store/gas station and both roads being only 3 lanes with one being a turning lane, then this expanded and improved intersection will not be congested due to the presence of the fuel pumps.

Does Not Substantially Increase Fire Hazards

The presence of a convenience/gas station will increase the possibility of a fire hazard due to volatile fuel; several vehicles present at any given time and the structure itself where food is prepared. However, per the chart below between 2014-2018 there were a yearly average of 4150 fire incidents. According to CEDS, *the number of convenience stores in the USA have been declining. There were 202,800 in 1994 and 156,065 in 2012. CEDS estimates that there are around 140,000 stores today.* Using this data, the chance of a fire incident occurring per store is once every 33 years. Please note that an average of only 3 deaths occurred each year. The presence of a potential fire hazard has not caused a Gas Station location to be denied by the City of Southaven in the past. There is adequate fire flow water available at this site.

Occupancy	Fires		Civilian Deaths		Civilian Injuries		Direct Property Damage In (Millions)	
Structure Fires	550	13%	1	19%	9	21%	\$11.10	21%
Vehicle Fires	2,340	56%	1	50%	28	61%	\$11	61%
Onsite Fires	1,260	30%	1	31%	8	18%	\$7.80	18%
Outside other fires (Excluding trash cans)	670	16%	1	25%	4	10%	\$7.60	10%
Outside trash or rubbish fires	590	14%	0	5%	3	7%	\$0.20	7%
Total	4,150	100%	3	100%	43	100%	\$30	100%

Table 1. Fires in Service or Gas Station Properties by Incident Type, 2014-2018 Annual Averages

Does Not Adversely Affect the Character of the Neighborhood

1. Desoto County Board of Supervisors in 1997 determined that the presence of a Neighborhood Retail Center at a major road intersection in a fast-growing area of the County did not adversely affect the character of the neighborhood. At that time, the Board also approved the Southwest corner of this intersection to be zoned C-2, Highway Commercial, which allowed a convenience store with fuel pumps as permitted use. The Neighborhood Retail Center is part of the Dickens Place P.U.D. development. (See Exhibit A)
2. The City of Southaven, since annexation of the Dickens Place P.U.D. development, has made no effort to encourage the rezoning of the Southwest corner to another Zoning District not allowing fuel pumps as an accessory to a convenience store.
3. The character of the neighborhood here is like that of the Getwell & Starlanding Roads intersection where the City of Southaven and Desoto County have approved 2 Convenience Stores with fuel pumps.
4. The store will be located in a Neighborhood Retail Center of 5.92 acres consisting of several retail/office buildings which shield the store from the nearest homes which are in Dickens Place. (See Exhibit B)
5. The character of the neighborhood here is also very similar to the Getwell & Church Roads intersection. The City approved a gas station east of the intersection placing it next to residential homes. According to CEDS *"modern planning philosophy calls for locating convenience stores in neighborhood scale commercial areas."* Which was done here.

Does Not Over Tax Public Utilities or Community Facilities

A convenience store with a deli uses only 300-500 gallons of per day of water. There are large water

M&N Properties
Northwest Corner, Getwell & College Roads
Southaven, MS
Conditional Use to Allow Fuel Pumps .

IPD, LLC.

BEN W. SMITH P.E., R.L.S.

May, 2023

mains available as well as adequate wastewater collection lines. This store will not have any effect on public parks, or City recreation areas. Police and Fire protection is available and no increase in their personnel or equipment is anticipated.

Does Not Conflict with the Comprehensive Plan

This use is in complete agreement with the Southaven Comprehensive Development Plan. It is stated on page 42: *The neighborhood commercial land use category is primarily to serve the needs of those individuals living in proximity thereto and would accommodate certain uses to provide convenience retail goods to the nearby residents. Examples include **convenience stores**, branch banks, coffee shops, deli, or personal services such as a beauty shop or tanning salon.*

The City has created a pattern of approved stores at Section corners i.e., 1 mile apart. Exhibit "G" shows locations of existing and proposed stores in the Eastern part of the City.

Other considerations that may be considered to approve Fuel pumps are:

Traffic Circulation

Gas pumps generally do not generate traffic; rather, they simply capture the traffic that is already on the adjoining road. Therefore, Fuel pumps do not add to the volume of traffic on a given road.

The presence of a Fuel island on the site in no way changes the traffic circulation in and out of the proposed C-store (See Exhibit B)

Neighborhood Impact

The question to be addressed is: Does the presence of a fuel island impact the neighborhood more than the presence of a "permitted" Convenience Store alone, or of other uses such as retail that are permitted by right on the property? This can be considered in terms of:

1. Noise Pollution
2. Light Pollution
3. Crime
4. Health Concerns
5. Property Value
6. Traffic Volume

Noise:

The Fuel Island will have vehicles that will idle a longer period of time than one parked at the Convenience Store. One can reasonably assume more construction trucks will use the Fuel dispensers at the Island than at a standalone store. Noise levels are mitigated at this site by (a) placing the store between the Fuel Island and the residences (b) construction of a 6' high masonry fence with tall canopy trees in the 30-foot buffer shown on the Site Plan at the rear of the site next to the residence (c) Placing a reasonable limit on the operational hours of the store. (d) Retail buildings are placed between the Fuel pumps and residences providing a noise shield.

Light Pollution:

The City of Southaven requires downward parking lot lighting with 0 percent bleed over into adjacent site. The properties fuel Island is centrally located with its lighting located beneath the canopy. The problem with light pollution is a store problem to be addressed, not the canopy. However, canopy lighting is to be bright enough to discourage crime at the pump.

Crime:

The Federal Bureau of Investigation (FBI) violent crime data using the National Incident Based Reporting System (NIBRS) reported that 20,108 incidents occurred at C-stores in 2020 and 11,795 occurred at C-store/gas stations. FBI ranking of locations where violent crime occurred showed Convenience Stores to be No. 4 and C-store/Gas Stations to be No. 7 in the study ***Robbery of Convenience Stores by Alicia Altizo and Diana Fork***. They stated "For instance, stores with gas pumps, sometimes referred to as Convenience gas stations, are less likely to be robbed than stores without pumps". Using government statistics and published studies this site will probably have less crime if a Fuel Island is present. This store will not be a 24 hour location and will agree to reasonable store hours to deter crime happenings. The owner will also install a state of the art security camera system.

Heath Concerns:

Most studies about fuel vapor pollution from fuel dispenser list benzene as the prominent pollutant effecting a person's health. There is no minimum level of benzene considered safe. The pollution from fuel vapor occurs at 2 locations; the fuel nozzle during fueling and the buried fuel tanks vent pipes. All newer vehicles are equipped with a vapor capture system that captures this vapor and stores the vapor in a cannister. This system is called Onboard Refueling Vapor Recovery System (ORVR). A 2021 Study (<https://www.mdpi.com/1660-4601/18/4/1872/pdf>) found that consumers filling their vehicle under natural conditions were not exposed to sufficient benzene from filling alone to pose a significant health risk. However, the cumulative effect of benzene released during fueling and from underground storage tank vents remains a cause for concern for those living or working nearby. We will have mitigated the problem of escaped vapors by:

- a. Placing the fuel island in front of the store not in the rear. Thus, farther away from residence.
- b. Placing the storage tanks and vents in front of the store also.
- c. Constructing the 30' landscape buffer with a 6' solid fence with tall canopy trees to create a wind break.

Also, the prevailing wind pattern at the site is NW to SE which means the vapors, on most days of the year, will be directed towards Getwell Road.

The City of Southaven and Desoto County zoning regulations do not contain any requirements as to distance between gas stations and residential areas. A quick vehicle trip through out the City and County will uncover numerous Convenience store/gas stations located adjacent to residences. The use of Landscape buffers is utilized to mitigate any problems with this arrangement by these political entities.

Property Value:

Does a Convenience store-gas station effect adjacent residential property values more than just a convenience store? I found no studies to address this question. Common sense would show that residential property values are effected by either of the two. Desoto County home appraisal equations do not include a "devaluation factor" for homes adjacent to a convenience store that I am aware of. My conclusion for this site is that, due to the fuel island being in front of the store and the site being well buffered and the nearly 500' to the nearest residence, the presence of the island alone does not contribute to decreased property values over what a store alone would cause. Southaven is a place of increasing not decreasing property values that is beneficial to all. A comparison of appraisals done by the Desoto County Tax appraisals office for homes backing up to the Convenience store/gas station in Rosebury Subdivision and those not backing up, showed no significant difference in the value per square foot ratio. Matter of fact, that office valued all homes in Rosebury at the same approximate per square foot rate. Rosebury, like all other subdivisions in the City are experiencing increases in home prices regardless of location.

Traffic Volume:

There is no reason a patron visiting the fuel island would enter the residential area more so that a

patron visiting the store.

Zoning Compliance and Need

CEDs: with regards to gas stations, the market area usually extends 0.5 to 1.5 miles. It takes about 2,000 - 4,000 people living or working within the market area to support a single gas station. Exhibit "D" is a map showing the lots and land parcels within 1.5 mile of the corner. Using 2.52 persons per household as the density (2010 Census) there are approximately 2,532 people within a 1.5 mile radius. However, this site will serve a much bigger area since to the west the nearest gas station is at Church road and Elmore. To the east the nearest is at Church and Pleasant Hill Road. To the North and South it is one mile. Not included in this customer base are those customers that pass by that live outside the 1.5 mile radius. A more telling criteria for the validity of a successful fuel island, would be to include the transit customers.

Demand on Public Resources

No water and sewer is needed for the Fuel Island. Since Southaven already services this area with police and fire protection no increase in personnel or equipment for emergency services is anticipated. There will be no permanent residents required for the Fuel Island so there will be no impact on the school or park system. Since this development is a "in-fill" development, the City will realize an increase in property taxes and fees without hardly any expenditure in providing City services.

Buffers

There will be a 30-foot landscape buffer along the North and West property line. (See Exhibit B)

Improvements

The developer-owner will install all the improvements shown on the Site Plan as well as lighting for the entire site. This lighting plan will use downward facing fixtures to prevent light pollution to the adjacent properties. The signage will be for the City of Southaven requirements. The pervious areas will be irrigated.

8. Financial Capability

The owner of the property owns and operates several marketplace centers, that include a convenience store with fuel pumps, all around DeSoto County. They are capable of obtaining financing for the center and have the personnel to manage the operation of the center in compliance with the City of Southaven's Property Maintenance Code.

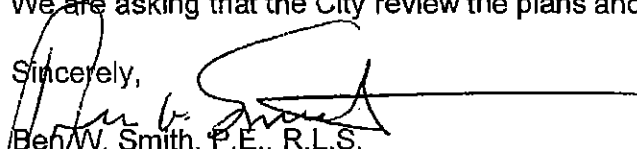
9. Conclusion

The current zoning is PUD with a base ~~C-1~~ district for this site and we are filing a conditional use for fuel pumps as an accessory use for a convenience store. This will provide convenient access for people living in the area and traveling by for re-fueling and retail of consumer goods. There will be approximately 2500 people within a 1.5 mile radius from subject location that will have convenient

access to the Marketplace. There are no known Convenience Stores in Southaven or Desoto County that do not have Fuel Pumps.

We are asking that the City review the plans and documents and grant approval.

Sincerely,



Ben W. Smith, P.E., R.L.S.

BWS/tm

Enclosures

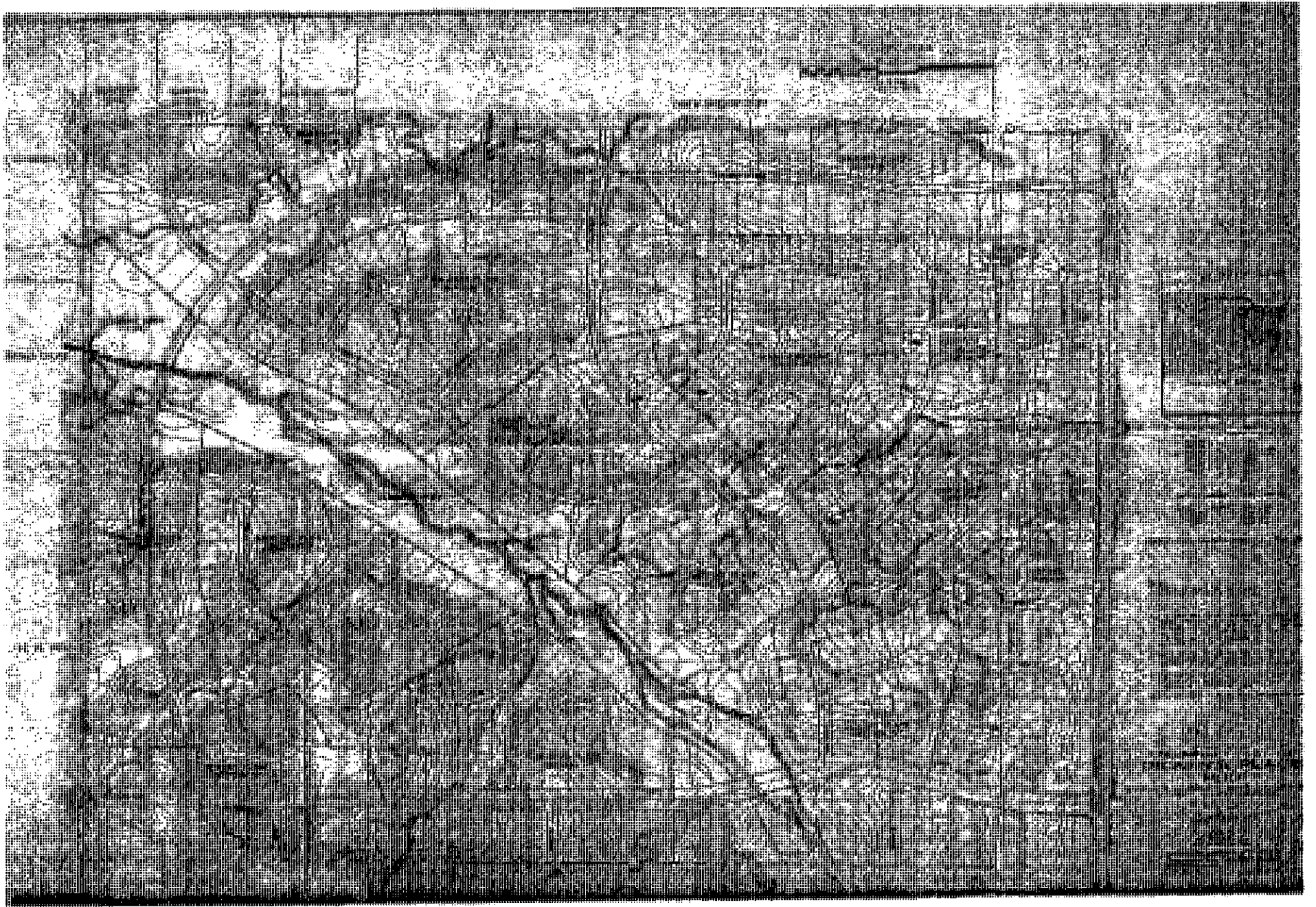
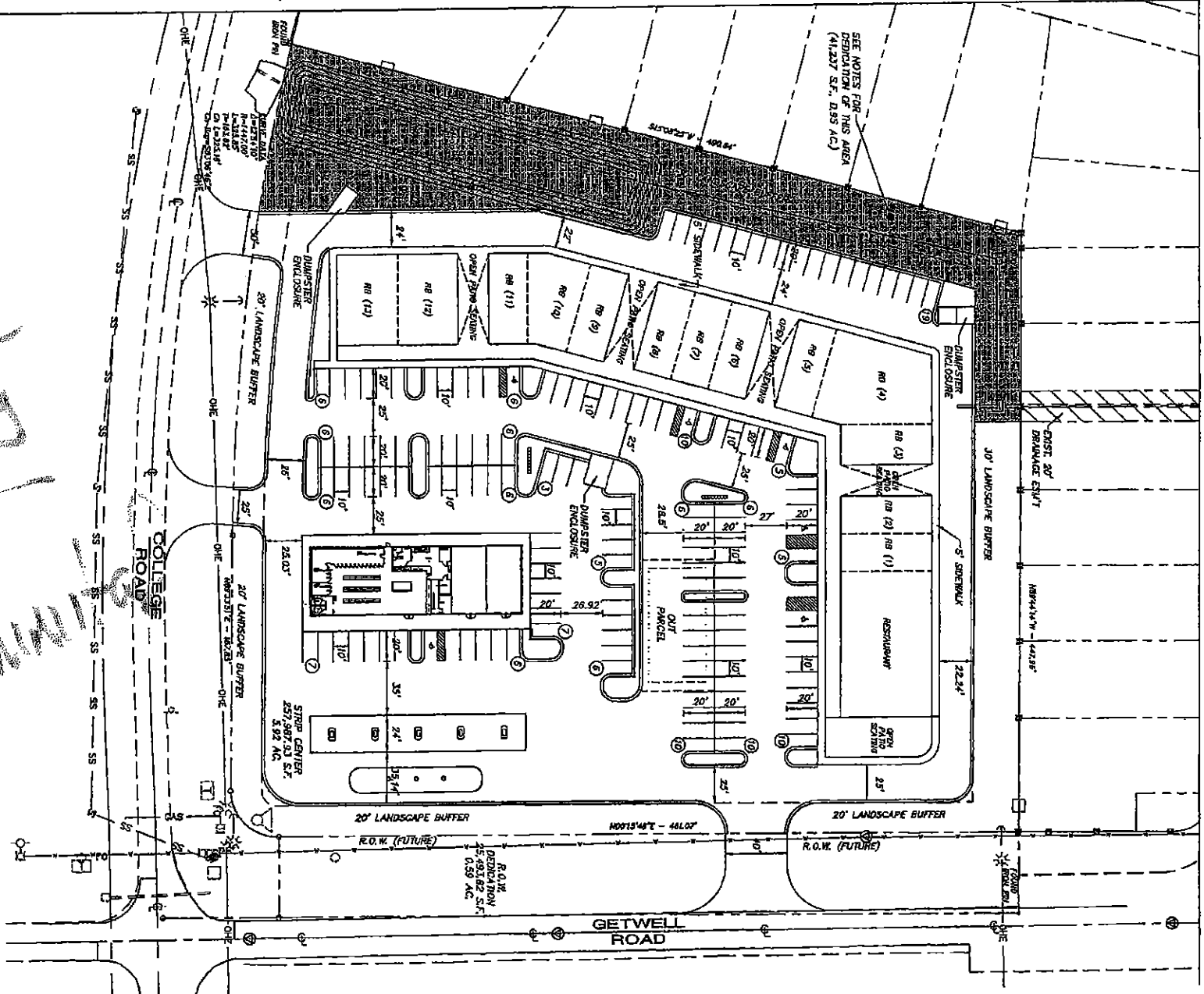


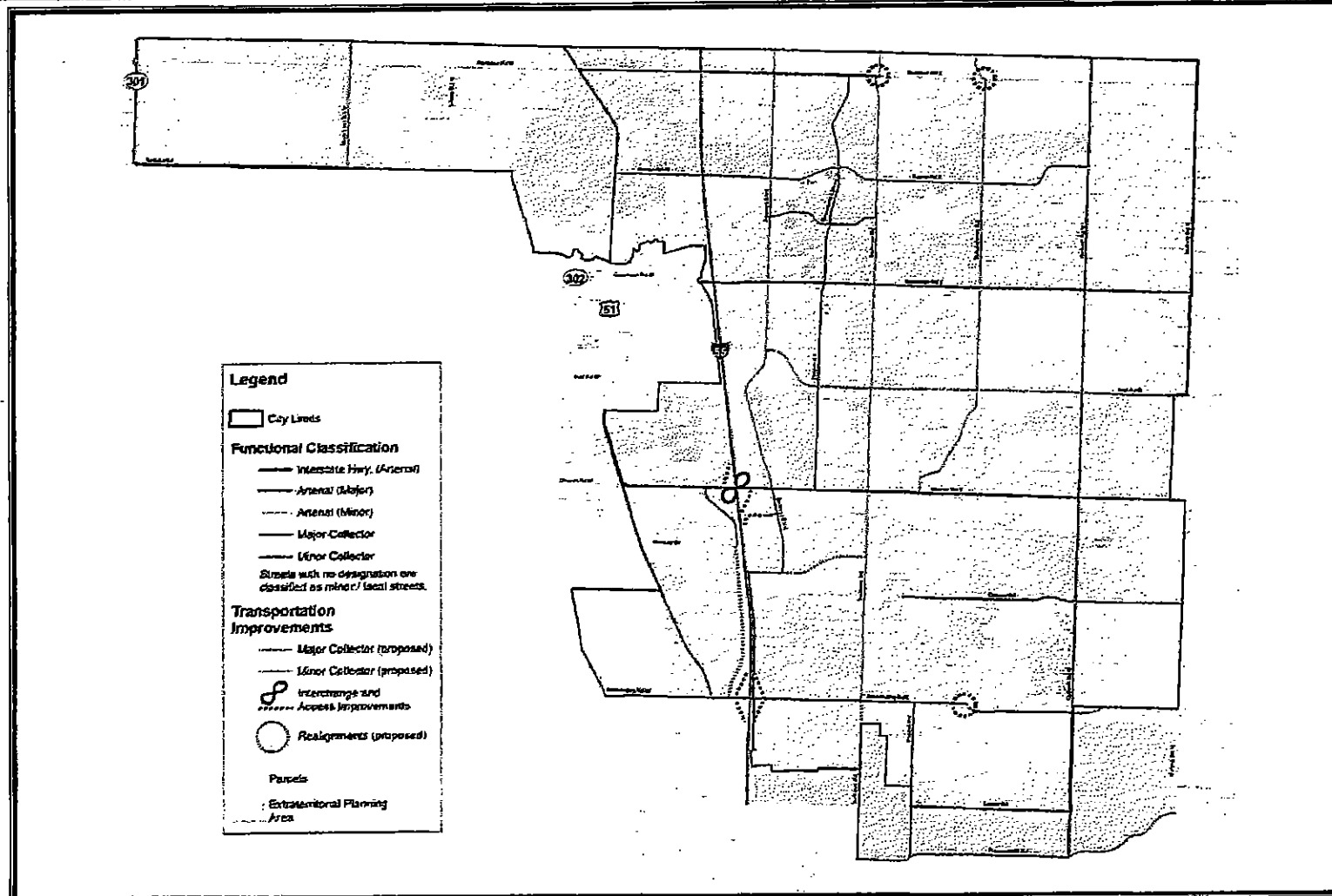
EXHIBIT (A)

SEE NOTES FOR DEDICATION OF THIS AREA (41,237 S.F., 0.93 AC.)



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EXHIBIT (B)



MAP 6.1 Functional Classification.

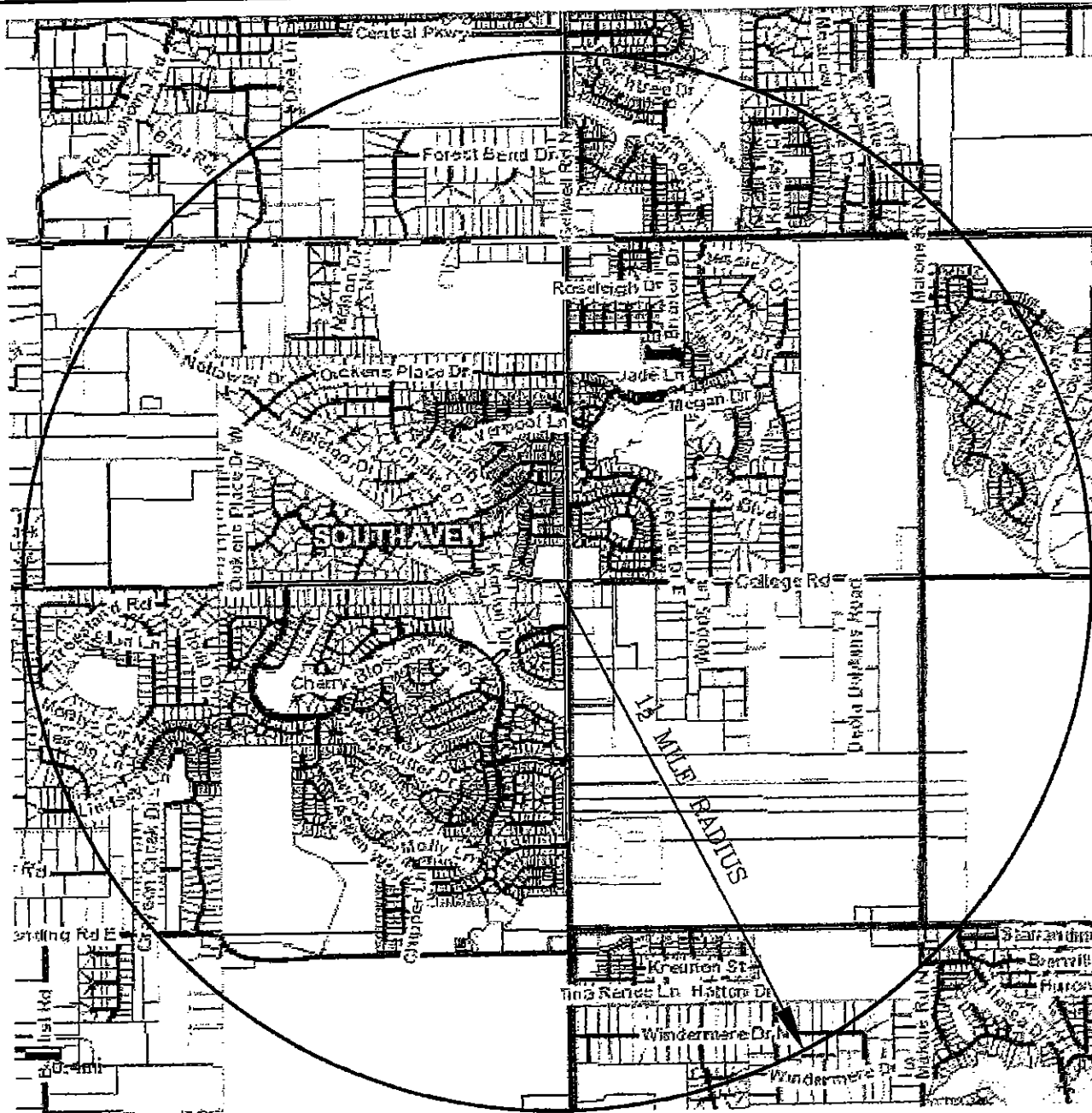


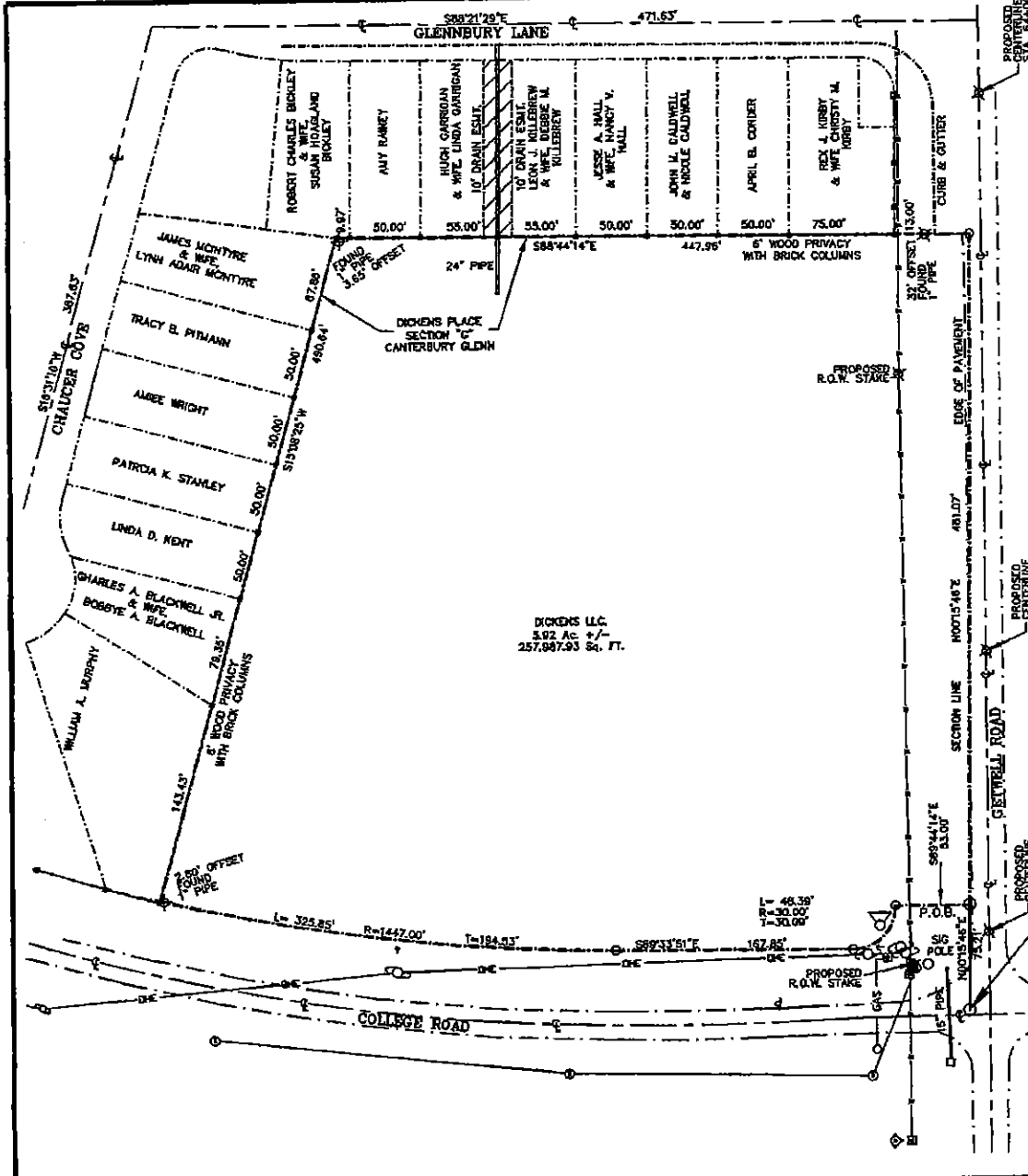
EXHIBIT "B"
 M & N PROPERTY INC.
 CONDITIONAL USE APPLICATION
 2020 CENSUS DATA
 2,328 HOUSING UNITS
 5,866.56 PEOPLE
 2.52 PER UNIT
 ANNUAL GROWTH RATE 1.03%



1 1/2 MILE RADIUS
 OF THE
 NORTHWEST CORNER OF
 GETWELL ROAD & COLLEGE ROAD
 CITY OF SOUTHAVEN
 DESOTO COUNTY, MISSISSIPPI
 SEPTEMBER, 2022

IPD IPD, LLC
 CIVIL
 ENGINEERING
EXHIBIT (D)

7183 SHINEA S
 SOUTHAVEN, MS 393-3346
 336-8183



LEGAL DESCRIPTION

DESCRIPTION OF THE DICKENS LLC 5.92 AC. TRACT
SOUTHEAST QUARTER SECTION 9, TOWNSHIP 2 SOUTH, RANGE 7 WEST
DESOTO COUNTY, MISSISSIPPI

DESCRIPTION OF A 5.92-ACRE TRACT AS RECORDED IN DEED BOOK 284 PAGE 561 IN THE CHANCERY CLERK'S OFFICE OF DESOTO COUNTY, MISSISSIPPI AND BEING LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 7 WEST, CITY OF SOUTHAVEN, COUNTY OF DESOTO, STATE OF MISSISSIPPI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

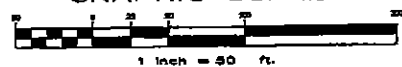
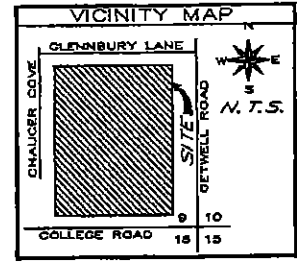
COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 7 WEST, CITY OF SOUTHAVEN, COUNTY OF DESOTO, STATE OF MISSISSIPPI; THENCE NORTH 01 DEGREES 15 MINUTES 46 SECONDS EAST A DISTANCE OF 75.21 FEET TO A POINT IN THE EAST LINE OF SAID SECTION, SAID POINT BEING THE SOUTHWEST CORNER AND TRUE POINT OF BEGINNING FOR THE HEREIN DESCRIBED 5.92-ACRE TRACT, TO WIT:

THENCE NORTH 00 DEGREES 15 MINUTES 46 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION A DISTANCE OF 481.67 FEET TO A POINT, SAID POINT BEING THE NORTHEAST CORNER OF THE HEREIN DESCRIBED 5.92-ACRE TRACT; THENCE SOUTH 84 DEGREES 44 MINUTES 54 SECONDS EAST ALONG THE SOUTH LINE OF DICKENS PLACE SECTION "G" CANTERBURY GLEN A DISTANCE OF 442.95 FEET, TO A BRICK COLUMN FOUND IN THE EAST LINE OF DICKENS PLACE SECTION "G" CANTERBURY GLEN AS RECORDED IN PLAT BOOK 94, PAGE 19 IN THE CHANCERY CLERK'S OFFICE OF DESOTO COUNTY, MS, SAID POINT ALSO BEING THE NORTHWEST CORNER OF THE HEREIN DESCRIBED 5.92-ACRE TRACT; THENCE SOUTH 13 DEGREES 08 MINUTES 13 SECONDS WEST ALONG THE EAST LINE OF DICKENS PLACE SECTION "G" A DISTANCE OF 490.64 FEET TO BRICK COLUMN FOUND ON THE SOUTHWEST CORNER OF THE SAID SECTION "G" TRACT; SAID POINT ALSO BEING THE SOUTHWEST CORNER OF THE SAID DESCRIBED 5.92-ACRE TRACT; THENCE EAST ALONG THE NORTH RIGHT OF WAY OF COLLEGE ROAD AND A CURVE TO THE LEFT HAVING A RADIUS OF 2447.20 FEET, A TANGENT OF 134.33 FEET, AND A LENGTH OF 326.85 FEET TO A POINT IN THE NORTH RIGHT OF WAY LINE OF COLLEGE ROAD, AS RECORDED IN DICKENS PLACE SECTION "C" PLAT BOOK 26, PAGE 20 IN THE CHANCERY CLERK'S OFFICE OF DESOTO COUNTY, MS, SAID POINT ALSO BEING IN THE SOUTH LINE OF THE HEREIN DESCRIBED 5.92-ACRE TRACT; THENCE SOUTH 89 DEGREES 13 MINUTES 31 SECONDS EAST A DISTANCE OF 387.85 FEET TO A POINT IN THE NORTH RIGHT OF WAY LINE OF COLLEGE ROAD, SAID POINT ALSO BEING IN THE SOUTH LINE OF THE HEREIN DESCRIBED 5.92-ACRE TRACT; THENCE NORTH ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 5030 FEET, A TANGENT OF 30.09 FEET, AND A LENGTH OF 48.19 FEET TO A POINT, SAID POINT ALSO BEING IN THE SOUTH LINE OF THE HEREIN DESCRIBED 5.92-ACRE TRACT; THENCE SOUTH 89 DEGREES 44 MINUTES 24 SECONDS EAST A DISTANCE OF 31.60 FEET TO THE POINT OF BEGINNING CONTAINING 5.92 ACRES OR 257,987.93 SQUARE FEET. THIS PROPERTY IS SUBJECT TO ALL CODES, REGULATIONS AND RESTRICTIONS, RIGHTS OF WAY, AND EASEMENTS OF RECORD IN EFFECT FOR DESOTO COUNTY, MISSISSIPPI.

DICKENS LLC
5.92 AC +/-
257,987.93 Sq. Ft.

LEGEND OF SYMBOLS

- ★ PROPERTY CORNER & PROPOSED R.O.W. SIGN
- ⊕ EMERGENCY SPRIEN
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ POWER POLE
- ⊕ GUY WIRE
- ⊕ SEWER MANHOLE
- ⊕ GAS VALVE
- ⊕ GAS LINE MARKER



**BOUNDARY-SURVEY
OF THE DICKENS LLC.
5.92 Ac. TRACT
OCTOBER 9, 2017
SECTION 9, T-2-S, R-7-W
DESOTO COUNTY,
CITY OF SOUTHAVEN, MS**

**IPD, LLC
CIVIL
ENGINEERING**

7193 SWINNEA ROAD, SUITE C2
SOUTHAVEN, MISSISSIPPI 38671

EXHIBIT (E)

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND
THE CITY OF SOUTHAVEN CODE OF ORDINANCES,
TITLE XIII, CHAPTER 12, SECTION 13-12(m), CHART 4 COMMERCIAL ZONE
DISTRICTS**

The Mayor and Board of Aldermen of the City of Southaven, Mississippi (the "City"), considered the matter of amending the Southaven Code of Ordinances, specifically, TITLE XIII, CHAPTER 12, SECTION 13-12(m) CHART 4 COMMERCIAL ZONE DISTRICTS, ("Ordinances")

Thereupon Alderman Payne offered and moved the adoption of the following resolution:

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND
THE CITY OF SOUTHAVEN CODE OF ORDINANCES,
TITLE XIII, CHAPTER 12, SECTION 13-12(m), CHART 4 COMMERCIAL ZONE
DISTRICTS**

WHEREAS, pursuant to Miss. Code 17-1-3, the City is vested with authority of regulatory controls over zoning and land uses, and may do all things, consistent with the laws of the state, which they deem necessary to protect the health and welfare of the residents; and

WHEREAS, pursuant to Miss. Code Section 17-1-9, the City's regulation as set forth in this Resolution and amended ordinance is designed to lessen congestion in the streets; to secure safety from fire, panic and other dangers; to provide adequate light and air; to prevent the overcrowding of land; to avoid undue concentration of population; and

WHEREAS, traffic control is necessary to ensure safety of the City's citizens and others when traveling in commercially zoned areas; and

WHEREAS, the City currently adheres and enforces regulations that allow for the review and recommendations of proposed land uses by the Planning and Development Department; and

WHEREAS, the City desires to amend the Ordinances to require a conditional use process for convenience stores to determine appropriate location and to further monitor traffic control in the proposed areas to lessen congestion in the streets and prevent overcrowding of land; and

WHEREAS, in addition, the requiring of a conditional use process for convenience stores will help to avoid undue concentration of population along with preventing other dangers from panic in the event of an emergency in populous area; and

WHEREAS, the Ordinances, as amended, provide specific guidelines for the governmental authorities, and serves the legitimate City interest; and

WHEREAS, the Board authorizes the Mayor, or his designee, to sign such documents or take actions that are necessary or required for the effectuation of the amended Ordinance; and

NOW, THEREFORE BE IT ORDAINED BY THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF SOUTHAVEN, MISSISSIPPI, BY RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND THE CITY OF SOUTHAVEN CODE OF ORDINANCES, TITLE XIII, CHAPTER 12, SECTION 13-12(m), CHART 4 COMMERCIAL ZONE DISTRICTS as follows:

Chart 4. Commercial Zone Districts Legend

Zoning District	O	RO	C-1	C-3	C-4	PBP	M-1	M-2	PUD
Convenience food store			C	C	C		C	C	C
Gas pumps as an accessory to convenience store				C	C		C	C	C

Footnote #48 Convenience stores shall be reviewed under conditional use conditions which will include but no be limited to a requirement that the site is considered a hard corner, at a lighted intersection and there will be a maximum number of two (2) stores per intersection.

NOW, THEREFORE BE IT ORDERED that the City Clerk, pursuant to Miss. Code 21-13-11, provide notice of the adoption of the Ordinance in the Desoto Times for one (1) time.

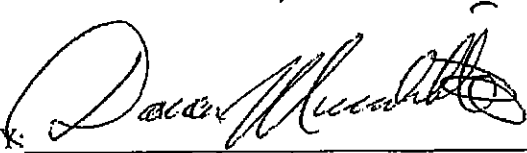
The foregoing Resolution was seconded by Alderman Gallagher and brought to a vote as follows:

EXHIBIT (F)

ALDERMAN	VOTED
Alderman William Brooks	YES
Alderman Kristian Kelly	YES
Alderman Charlie Hoots	YES
Alderman George Payne	YES
Alderman Joel Gallagher	YES
Alderman John David Wheeler	YES
Alderman Raymond Flores	YES

Having received a majority of affirmative votes, the Mayor declared that the Resolution was carried and adopted as set forth above on this the 15th day of May, 2018.

CITY OF SOUTHAVEN, MISSISSIPPI

BX: 

DARREN MUSSELWHITE, MAYOR

ATTEST:



CITY CLERK



EXHIBIT (F)

IPD

IPD

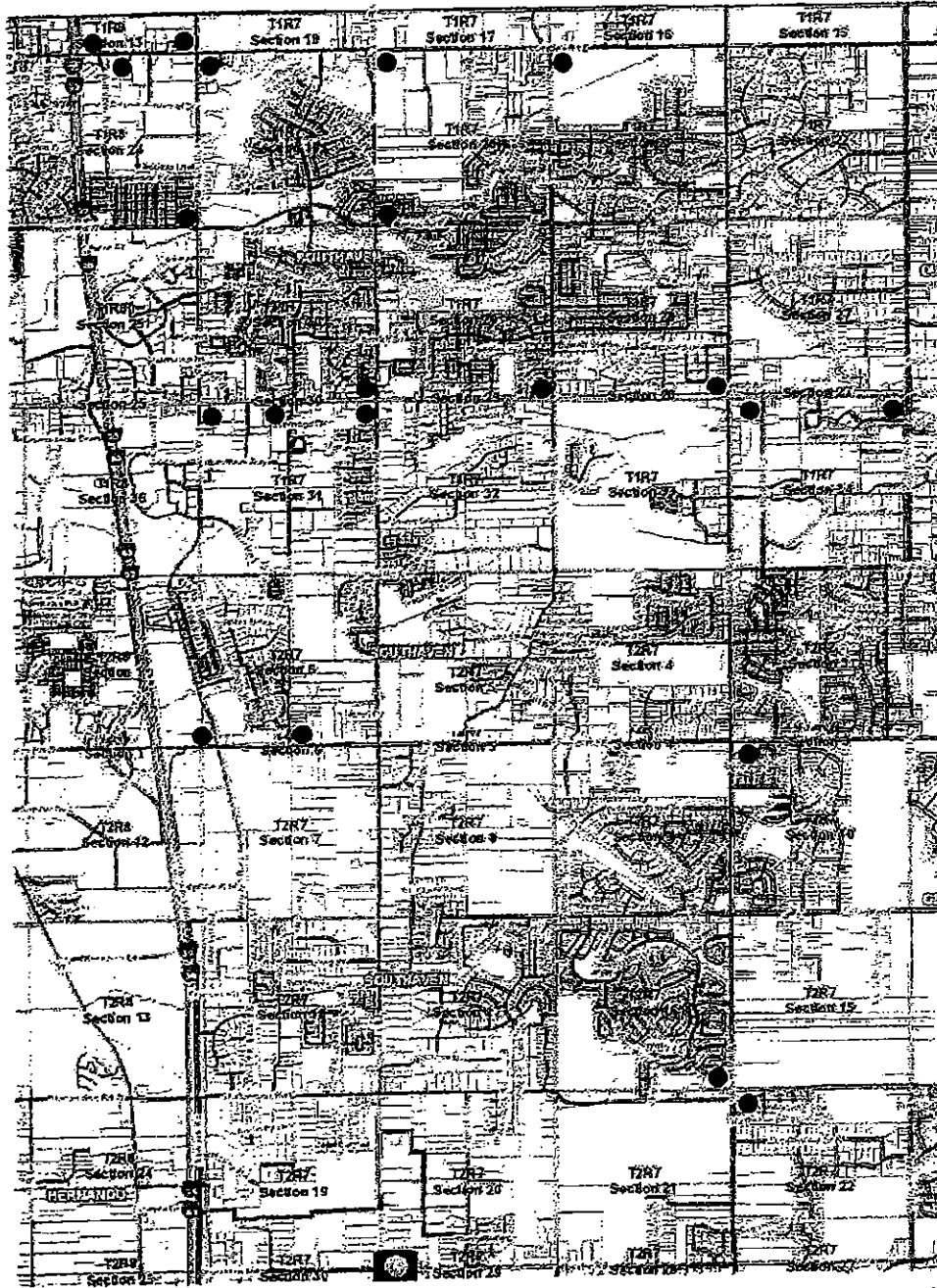


EXHIBIT "C"
M & N PROPERTY INC
CONDITIONAL USE APPLICATION
22 CONVENIENCE STORES
WITH FUEL PUMPS
APPROVED SINCE 1980

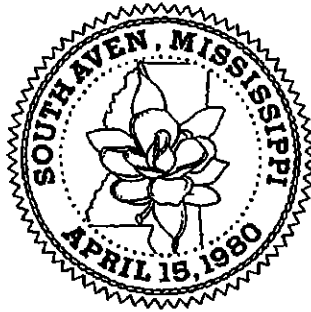


LOCATIONS OF
CONVENIENCE STORES
EAST OF I-55 TO THE CITY LIMITS
CITY OF SOUTHAVEN
DESOTO COUNTY, MISSISSIPPI
SEPTEMBER, 2022

IPD **IPD, LLC**
 CIVIL
 ENGINEERING
 7193 SWINNEA ROAD, SUITE C2
 SOUTHAVEN, MISSISSIPPI 38671
 662-761-7777

EXHIBIT G

IPD



City of Southaven

Office of Planning and Development Planning Commission Public Hearing

8710 Northwest Drive
Southaven, MS 38671

Date of Hearing: May 22, 2023
Time of Hearing: 6:00 pm

AGENDA ITEMS

✓ Tabled Items

✓ ITEM #1 Application by Onyx Snowden Grove LLC for subdivision approval to revise the Diamonds of Snowden Grove Subdivision on the east side of Snowden Lane, north of Pine Tar Alley;

✓ ITEM #2 Application by Pediatric Dental Group for site plan approval of a dental office to be located on lot 36 of Silo Square Commercial Subdivision Phase 5;

✓ ITEM #3 Application by Pediatric Dental Group for design review approval of a dental office to be located on lot 36 of Silo Square Commercial Subdivision Phase 5;

✓ ITEM #4 Application by Choice Hotels International Services Corp. for a conditional use permit to allow Everhome Suites to be located on lot 7E-B of the Briargate Commercial Subdivision;

✓ New Items

16, 17, 18
ITEM #5 Application by SMJ Enterprise for approval of two retail buildings to be located on

19, 20
ITEM #6 Application by SMJ Enterprise for approval of two retail buildings to be located on

Amended report for M&N CUP application:

1. The applicant is correct in that the underlying zoning for this area in the PUD is C-1. It is staff's opinion that the City's C-1 zoning at the time of submittal is the formal designation to abide by which does not allow for gas pumps AT ALL. While staff disagrees that C-1 allows for a gas pump CUP, the applicant was allowed to apply for a CUP. CUP's are not permitted by right and the governing authority has the authority to hear and review the evidence for the conditional use at the time of application. Conditional uses are based on several factors as set forth in City ordinance. My report states the reasons for denial of the CUP; however, in addition to the report items, staff was able to further review CEDS documents referenced by the applicant which identified fire hazard concerns that staff has not previously documented in the report. At this time, staff would like to amend the original report to add the following "During the five-year period of 2004-2008, NFPA [National Fire Protection Association] estimates that U.S. fire departments responded to an average of 5,020 [fires] in service or gas station properties per year. These fires caused an annual average of two civilian deaths, 48 civilian fire injuries, and \$20 million in direct property damage."

In addition, please see Title XIII Chapter 9 which states, "If the findings by the governing authority relative to the above subjects are that the city would benefit from the proposed use and surrounding area would not be adversely affected, then such permits may be granted." It is staff's and Planning Commission's opinions that the surrounding area is adversely affected as noted in my report and also by the 65+ attendees of the Planning Commission. This chapter also states that the board has the right to place safeguards to protect the Comp Plan and conserve and protect property and property values in the neighborhood. Also, the applicant references the CEDS reports and in further review of CEDS documents staff notes the adverse impacts to property values as stated in the reports: "What decreases your property value: Gas stations, railroad tracks, hydro towers, power stations, and industrial areas — proximity to any of these things definitely won't help improve your home value, since they can generate and/or attract odors or other substances that could affect your air quality "and "2. Convenience Store with Gas Station. People will be driving in and out of your intersection, hanging out at the property, and buying lots of lotto tickets, cigarettes, and beer when they gas up. Although handy, these shops do nothing to help property values and hurt them significantly according to Zillow.com."

2. Staff has no issue with a convenience store, as it is allowed by right and the applicant may resubmit it at any time. As of today, there is no site plan approved as the previous one was denied by the Planning Commission in 2018 after it was tabled and the revisions were never addressed. The assumption by the applicant that showing the gas pumps on the site plan gives an informal approval to the owner is not realistic. The due diligence on uses by the owner of the property is not the responsibility of the city.

3. Staff disagrees with the applicant's response regarding design review. The regulations use this term generally to discuss the site and the design of that site. The reference to this section is from Chapter 3 Planning and Design Review Commission. Section 13-3(h) is a general procedure for site design and those comments and submittals are for all applications. It does not reference the design review application which is specifically for elevations and landscaping and is identified in its own chapter. Either way, the city accepted the CUP application under C-1 zoning of the county so this argument is mute.

4. A. The applicant keeps assuming that a hypothetical site design gives the allowance of the gas pumps which is not the case. Submitting a conceptual design to engineering consultants does not provide a traffic warrant study or give the applicant a green light for traffic circulation. The applicant is assuming there was no need for a traffic study at that point which is not for him to decide since the PC required it. In addition, as noted in staff report, gas stations are one of the highest yielding traffic uses for commercial properties which is documented in the Institute of Transportation Engineers Trip Generation Manual.

B. Again, staff has no issues with a convenience stores, as they are permitted by right. A gas station and a convenience store are not one in the same and are not treated the same per city or county ordinances. However, staff conducted a conditional use review per the request of the applicant and for the reasons stated in the original report and this amended report, staff recommends denial.

- i. The original report shows the viability of convenience stores without gas pumps within the city limits of Southaven. The applicant states that the loss of gas pumps has created a financial burden on the owner; however, the 5.92 acres is still commercial and has many commercial uses allowed. He also states that the delay in hearings has cost money however, his site plan application was submitted in mid-2018 and he never returned with the revisions requested by the PC. Five years later the site is submitted for gas pumps. The delay in this project has nothing to do with the city.

Documents submitted for record:

Snowden Grove PUD text

Rosebury PUD text

Cherry Tree Park PUD text

Desoto County zoning 1973

Desoto County zoning 2023

Planning Commission attendees list in opposition of the gas station

Southaven Code of Ordinances Title XIII Chapter 13-9 Conditional Uses
Institute of Transportation Engineers Trip Gen Manual 10th edition

Snowden
Grove

- I. Area 14
Single-Family Detached residential uses shall be permitted and regulated in the R-6 Medium Density Residential Single-Family District as modified herein. This area may be developed as a standard residential neighborhood (minimum lot size 6,000 SF) or as a retirement-oriented residential neighborhood (minimum lot size 5,000 SF) and both uses may be developed in a gated manner.
- J. Area 17
Uses shall be permitted and regulated in the "O" Office District as modified herein.
- K. ~~Area 15 - Town Square~~
Uses shall be permitted and regulated in the "C-4" Planned Commercial District as modified herein.

The following uses shall be permitted:

1. Antique store
2. Art or photo studio
3. Bakery, retail
4. Banks, financial services, savings and loan associations (no check cashing only)
5. Barber or beauty shop
6. Bed and Breakfast
7. Bookstore, with or without restaurant
8. Card shop
9. Cleaning establishment pickup and drop-off station only.
10. Clothing/shoe store
11. Computer and electronics store (Limited square footage)
12. Convenience store as conditional use; must have architectural image of square
13. Doctor or dentist offices
14. Drug store or pharmacy
15. Eyeglass store
16. Flower or plant store (Greenhouses are not allowed)
17. Furniture store, less than 10,000 SF
18. Specialty Grocery store, not to exceed 20,000 SF (Not a major chain)
19. Health club, health spa, reducing salon and similar uses
20. Jewelry store
21. Medical offices
22. Merchandise showrooms, indoor display (Conditional Use Permit required)
23. Music/dance academy (Conditional Use Permit required)
24. Music recording studio (Conditional Use Permit required)
25. News stand
26. Nutrition/health food store
27. Office uses

PREPARED FOR:

Meredith McCullar Realty Company, Inc.
6075 Poplar Avenue, Suite 502
Memphis, Tennessee 38119

Snowden
PLANNED UNIT I
SOUTHAVEN,

28. Pet grooming shop without open kennel
29. Photo finishing and photo finish pickup station
30. Photography studio
31. Post office or postal facility
32. Print shop
33. Restaurants with indoor seating and without drive-in or drive-thru facilities
34. Specialty food store
35. Specialty gift shop
36. Specialty hardware store
37. Veterinary clinic
38. Video/music store
39. Retail shop, sales and services (other similar uses may be approved by the Planning Staff administratively) (Conditional Use Permit may be required)

L. Area 15 - Town Square
Residential dwellings (lofts) shall be permitted above retail uses and regulated in the mixed-use district, as modified herein and as indicated on the Outline Plan.

M. Area 15 - Town Square
Office uses shall be permitted above retail uses and regulated in the "O" Office District as modified herein and as indicated on the Outline Plan.

N. ~~Area 16~~
Uses shall be permitted and regulated in the "C-4" Planned Commercial District as modified herein.

The following uses shall be permitted:

1. Antique store
2. Art or photo studio
3. Auto parts store (retail sales)
4. Banks, financial services, savings and loan associations (no check cashing only)
5. Barber or beauty shop
6. Bookstore, with or without restaurant
7. Card shop
8. Catering establishment
9. Cell phone store
10. Cleaning establishment pickup and drop-off station only
11. Clothing/shoe store
12. Computer and electronics store
- ~~13. Convenience store, with or without gas pumps.~~
14. Doctor or dentist offices
15. Emergency medical facility
16. Eyeglass store

Rosebury

TABLE 4

R-15 DISTRICT

Area	26.01 acres
Lots	60
Density (units/ac.)	2.3
Common area	*
Front yard setback	40 feet
Rear yard setback	40 feet
Sidyard setback	10 feet min., sum of 25 feet
Height	35 feet, 2 1/2 story
Minimum heated area	1800 square feet
Sixty percent masonry/stucco required	yes
Double garages required	yes
Double parking pads required	n/a
Minimum building line width	100 feet**
Minimum lot size	15,000 sq. ft.

* A park fee will be paid for each lot in lieu of a park

** The minimum building line width for cove lots may not be less than 75 feet

PERMITTED USES

Same as R-6 district permitted uses

CONDITIONAL USES

(1) Day Care Center

PROPOSED TYPE OF DEVELOPMENT

This district (and R-15) is designed for upscale housing on large lots. Although not as large as the R-30 lots in Dicken's Place and Pinehurst, these will have sidewalks and curb and gutters. These improvements will raise the cost of the lots to almost that of the R-30 lots. These lots should have homes of substantial size and price. Washed rock concrete driveways will be a requirement as well as side loaded double garages. The minimum heated floor area for two or more stories will be 1300 square feet for both R-12 and R-15 districts. A fifteen foot wide "no-build" zone will be required on the final plat for both the R-12 and R-15 districts at the rear of the lots next to Pinehurst.

BARRY BRIDGFORTH
WAYNE MANSFIELD

BWB (INITIAL)
_____ (INITIAL)

TABLE 5

COMMERCIAL DISTRICT

Area	9.76 acres
Lots	future site plan
Density	n/a
Common area	n/a
Front yard setback	50 feet
Rear yard setback	20 feet
Side yard setback	0 feet next to C-1
	30 feet next to R-6
	35 feet
Height	n/a
Minimum heated area	yes
Sixty percent masonry/stucco required	n/a
Double garages required	n/a
Minimum building line width	n/a
Minimum lot size	n/a

PERMITTED USES

- (1) Accessory dwelling unit
- (2) Art or photo studio
- (3) Bakery, retail
- (4) Barber or beauty shop
- (5) Cleaning pick-up station
- (6) Day care center
- (7) Doctor or dentist offices
- (8) Drug store
- (9) Financial services, banks, savings and loan associations.
- (10) Flower or plant store
- (11) Music or dancing academy
- (12) Nursery school
- (13) Offices
- (14) Photo finishing pick up station
- (15) Post Office or postal facility
- (16) Public Service Facilities
- (17) Print shops
- (18) Repair and service shops for repair and servicing of bicycles, electrical, radio, television appliances, keys and similar articles
- (19) Restaurant and carryout restaurant
- (20) Retail shops, other
- (21) Veterinary clinic where there are no outside kennels

BWB

(22) Churches

~~(23) Gas pumps as an accessory use to a convenience store~~

~~(24) Convenience store~~

PROPOSED TYPE OF DEVELOPMENT

This Commercial district is proposed to be a regional shopping area as recommended on the Desoto County Comprehensive Plan 2010. The developer desires that the same restrictions and standards presently being required by the City of Southaven for the Goodman Road corridor be applied to this district as related to landscaping, signage, building design and materials. It is not proposed in this text to outline specific requirements but let the Southaven Design and Review Board act in behalf of the Developer. However, only a fifteen foot buffer (B-15) will be required around the C-4 district perimeter and the only signs allowed will be ground mounted except for wall signs.

TRAFFIC PATTERNS

This development is blessed to be adjacent to 3 major roads; Church Road, Getwell Road, and College Road. Getwell is the major North-South artery in the central part of the county. Church Road is designed to extend from U.S. Highway 61 to State Highway 305 providing an alternative to Goodman Road two miles to the north. These major streets will be widened and improved to city requirements. All streets in this development will be curb and gutter with sidewalks on one side. There is no need for collector streets due to the close proximity of these major roads. The proposed internal streets will line up with those in Dicken's Place on the west*. Only Megan Drive in Pinehurst will be extended to Getwell as shown on the site plan. The streets, as designed, will give quick access to the 3 major roads. It is estimated that each residential lot will generate 10 trips per day or 5210 trips. The major streets will have the necessary cross-section (lanes) to handle this traffic load.

* Dicken's Place Drive will be extended to the east as shown on the site plan. The church will develop the north half of the street along its south property line within six months of the completion of the south half.

BARRY BRIDGFORTH
WAYNE MANSFIELD

BB (INITIAL)
WM (INITIAL)

Outline Plan

CHERRY TREE PARK

SOUTHAVEN, MISSISSIPPI

Legend

- ▲ Vehicular Access (Historic Only)
- △ Service Areas (Historic)
- ◆ Project Identification Signage
- Ground Mounted Commercial Signage
- Directory Signage
- Ground Mounted Subdivision Identification Signage

Signage Conditions:

1. The setback setback for any signage from the public right-of-way shall be ten (10) feet including directional and traffic signs.
2. Four Project Identification signs shall be permitted in the appropriate locations shown on the Outline Plan. The sign area of one (1) face shall not exceed one hundred (100) square feet. In no case shall the total sign area exceed two hundred (200) square feet. A Project Identification sign shall be ground mounted and not exceed twelve (12) feet in height.
3. One ground mounted commercial identification sign shall be permitted in Area "I" and two ground mounted commercial identification signs shall be permitted in Area "U". Such signs shall be in accordance with the City of Southaven Sign Regulations for C-4 districts.
4. Two Directory signs shall be permitted in Area "U" as shown on the Outline Plan. Such signs shall be in accordance with the City of Southaven Sign Regulations for C-4 districts.
5. Each neighborhood entrance shall be permitted to have a ground mounted Subdivision Identification Sign and in the appropriate locations as shown on the Outline Plan. Such signs shall be in accordance with the City of Southaven Regulations for "R" Residential Districts.
6. Prohibited signs from Cherry Tree Park shall include Handwritten Signs (City of Southaven Code of Ordinances Section 13-174), Prohibited Signs (City of Southaven Code of Ordinances Section 13-174), bench signs and sun-top shelter signs.
7. Street Identification Signs, Major Regulatory Signs, Minor Regulatory Signs, Public Signs, and Historical Marker Signs shall be permitted and located in accordance with the Manual of Uniform Traffic Control Devices.

Getwell Road



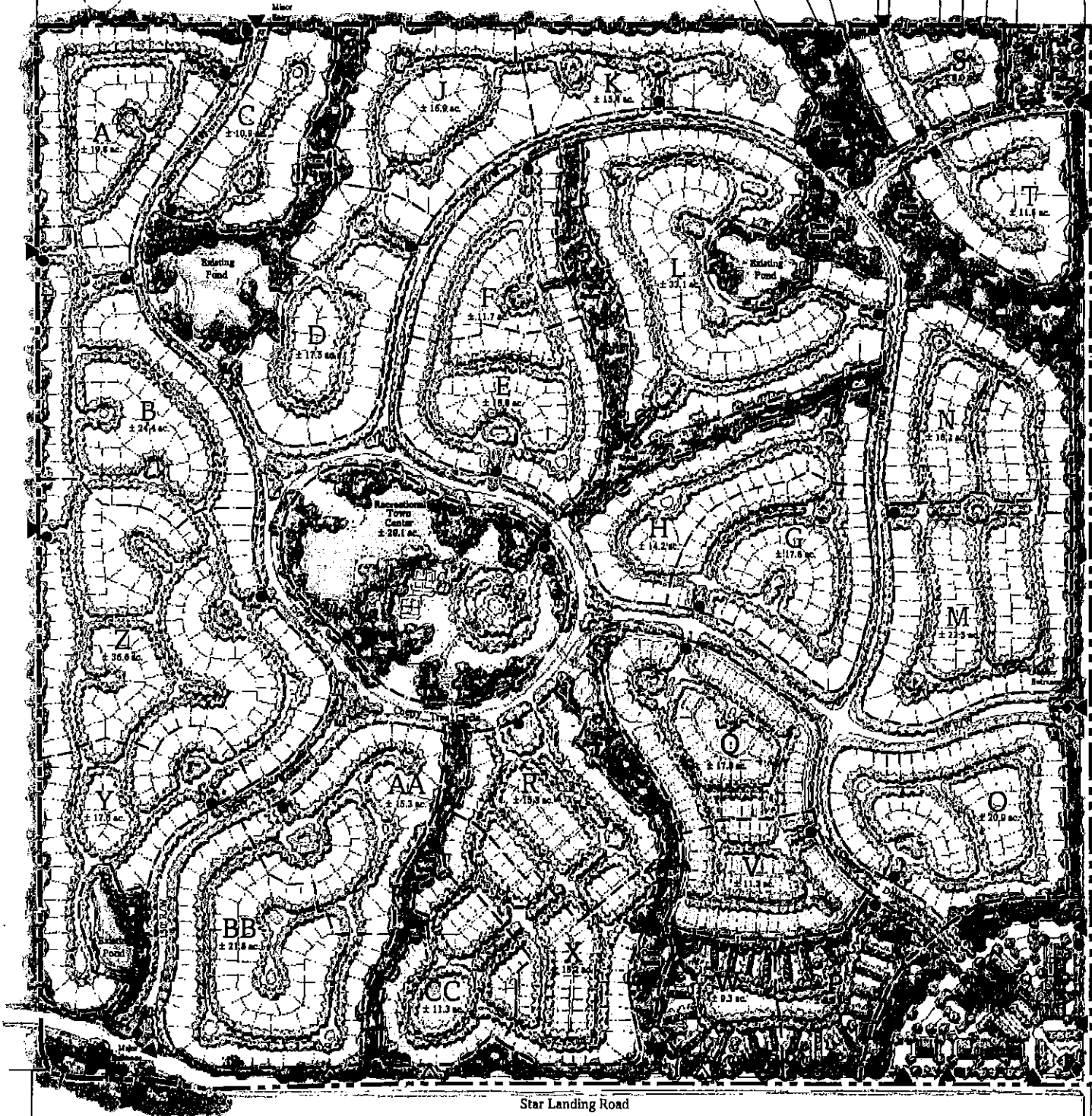
Outline Plan

Developer:
**CHERRY TREE MANAGEMENT
 COMPANY, L.L.C.**

DUGAN WARING & ASSOCIATES, LLC
Planning, Landscape Architecture, Design

5101 WHEELER DRIVE, SUITE 110 MEMPHIS, TN 38117
 TEL: 901.880.8090 FAX: 901.880.8097 WWW.DUGANWARING.COM

JOB NUMBER: A007 NOVEMBER 30, 2008
 PREPARED BY: TPL/LS



Star Landing Road

- (c) All vehicular road entrances must be approved by the County Engineer for safety access. Each trailer site shall abut a hard surfaced driveway, roadway, or street of not less than 30 feet in width, which shall have unobstructed access to a public highway or street. Space between trailers may be used for parking of motor vehicles if the space is hard surfaced and clearly designated at least 5 feet from the nearest adjacent lot boundary. When such off-street parking spaces are provided, the driveway, roadway, or street serving the lot shall not be less than 24 feet in width. A street plan satisfactory to the Board of Adjustment must be approved prior to construction with streets paved and culverts in place before occupancy.
 - (d) Electrical facilities provided to each lot must meet the National Electrical Code requirements. Trailer courts having 10 or more trailer lots must provide an overhead street or night light operating at night. One street light must be provided for each 10 trailer lot spaces, or portion thereof within the court.
 - (e) Each trailer court providing more than four trailer spaces must provide suitable playground area of not less than 300 square feet for each trailer space.
 - (f) In approving a trailer court site, there may be imposed such reasonable requirements as to screening and other features of the development as are deemed necessary to protect property and prevent objectionable conditions.
 - (g) After completion of improvements and prior to opening the mobile home park, a final plat shall be submitted in accordance with procedures outlined in Article VII of the DeSoto County Subdivision Regulations. Such plats need not be recorded in the Chancery Clerk's office but must be approved by the Board of Adjustment and Board of Supervisors and filed in the plat book in the Planning Commission office.
- (16) Mobile homes on sites of less than five acres provided that (1) a legitimate hardship exists which necessitates the use of a mobile home, and (2) only one trailer will be placed on any parcel of land.

2. The "R-1" Single Family Residential District

The purpose of this district is to provide for spacious, single-family residential development in the urbanizing portions of the county. In addition to single-family residences, churches, school, and accessory uses compatible with residential surroundings are permitted. The district is located within or near urbanized communities or where this type of development has been initiated or planned. In the "R-1" Single-Family Residential District, a building or premises shall be used only for the following purposes:

a. Permitted uses:

- (1) Single-family dwellings.
- (2) Public parks, forest preserves, playgrounds, and community buildings.
- (3) Churches and chapels.
- (4) Public schools or private schools having a curriculum equivalent to a public elementary or public high school and have not rooms regularly used for housing or sleeping purposes.
- (5) Golf courses, except miniature courses and driving ranges.
- (6) Country Club.
- (7) Radio towers and antenna, but not to exceed 65 feet in height.
- (8) Accessory buildings and uses as provided in Article VI.

b. Conditional uses:

The following uses may be permitted, if approved by the Board of Adjustment, in accordance with the procedures and under the conditions set forth in ARTICLE IX, provided such conditional uses shall comply with the height and area regulations and with the parking regulations for similar uses set out elsewhere in this ordinance.

- (1) Privately operated lakes, swimming pools, and tennis courts intended for public use, provided that they are located on sites containing not less than five acres.
- (2) Hospitals, nursing homes, and educational, philanthropic, or religious institutions on sites of not less than five acres, provided not more than 20 percent of the site area may be occupied by the buildings, and provided further that the buildings shall be set back from all required yard lines an additional one foot for each foot of building height over 35 feet.
- (3) New cemeteries and enlargement of existing cemeteries.
- (4) Private clubs and lodges.
- (5) Parking lots located within 300 feet of a "C" District.
- (6) Day care centers.

3. The "R-2" Single-Family Residential District

The purpose of this district is to provide for low to medium residential densities yet permit economies in construction and services. Densities and building heights are sufficiently low to be compatible with existing single-family developments which predominate throughout the northern portion of the county. In the "R-2" Single-Family Residential District, a building or premises shall be used only for the following purposes:

a. Permitted uses:

- (1) Any use permitted in the "R-1" Single Family Residential District.

b. Conditional uses:

- (1) The conditional uses shall be the same as in the "R-1" Single-Family Residential District.

4. The "R-3" Multiple-Family Residential District

The purpose of this district is to provide for two-family dwellings, apartment, and townhouse developments in areas of the county where the highway access, availability of community facilities, and shopping convenience are sufficient to support higher density development. In the "R-3" Multiple-Family Residential District, a building or premises shall be used only for the following purposes:

a. Permitted uses:

- (1) Any use permitted in the "R-2" Single-Family Residential Districts.
- (2) Two-family dwellings, townhouses, multi-family dwellings and residential condominiums.

b. Conditional uses:

- (1) The conditional uses shall be the same as in the "R-1" Single-Family Residential District.
- (2) Trailer courts, as regulated in the "A" Agricultural District.

c. For any two family, townhouse, multi-family, or residential condominium developments, overall development plans must be submitted for approval of the Planning Commission and Board of Supervisors prior to issuance of building permits based on review standards as shown in subparagraph e under paragraph 12, the "RUD" District.

5. The "C-1" Neighborhood Commercial District

The purpose of this district is to provide for retail shopping for everyday needs and personal services to serve the surrounding residential areas. The height of buildings and open spaces surrounding the district will not adversely affect nearby residences. Generally, the districts are located at the intersections of collector streets within residential areas. In the "C-1" Neighborhood Commercial District, a building or premises shall be used only for the following purposes:

a. Permitted uses:

- (1) Single family, two-family, multiple-family, townhouses, and residential condominiums.
- (2) Retail store or shop not exceeding 10,000 square feet in floor area.
- (3) Shops for repair and servicing of bicycles, electrical, radio, and television appliances, keys and similar articles where not more than five persons are employed on the premises at one time.

- (4) Dressmaking, millinery, tailoring, shoe repair, laundry, dry cleaning, and similar trade where not more than five persons are employed on the premises at any one time.
- (5) Bank, similar financial institution, office, or studio not exceeding 10,000 square feet in floor area.
- (6) Personal service shops such as barber shops and beauty parlors.
- (7) Animal hospitals and clinics where there are no open kennels.
- (8) Parking lots.
- (9) Restaurants, but not drive-in type.
- (10) Clinics.
- (11) Accessory uses as provided in ARTICLE VI.

b. Conditional uses

The following uses may be permitted, if approved by the Board of Adjustment, in accordance with the procedures and under the conditions set forth in ARTICLE IX, provided such conditional uses shall comply with the height and area regulations and with the parking regulations set out elsewhere in this ordinance.

- (1) Filling stations provided that all bulk storage of flammable liquids is underground and no less than 35 feet from all property lines.
- (2) Undertaking establishments.
- (3) Private schools
- (4) Theaters, but not drive-in theaters
- (5) Churches

6. The "C-2" Highway Commercial District

The purpose of this district is to provide for retail and service outlets serving not only nearby residential areas, but distant areas as well and especially the needs of through highway traffic. Included are establishments for the sale of agricultural implements, motels, restaurants, and drive-in facilities. Off-street parking facilities are required and structures must be set back from the highways. The districts are primarily located along heavily traveled state and federal highways. In the "C-2" Highway Commercial District, a building or premises shall be used only for the following purposes:

a. Permitted uses:

- (1) Any use permitted in the "C-1" Neighborhood Commercial District without limitation as to floor area.
- (2) Hotel, motel, or motor lodge.
- (3) Restaurant, drive-in or otherwise.
- (4) Filling station, provided that all bulk storage of flammable liquids is underground and no less than 35 feet from all property lines.
- (5) Visitor center or information center.
- (6) Automobile or truck sales, service, and repair. Salvage or junk, and any major repair or storage of equipment or materials or damaged vehicles shall be inside a completely enclosed building.
- (7) Temporary storage sales, and service facilities for mobile homes, camping trailers, tents, and touring vans, but not a mobile park or trailer park.
- (8) Automobile park, lot or garage.
- (9) Private club.
- (10) Farm implement sales and repair establishments.
- (11) Bus Depot.

b. Conditional uses:

The following uses may be permitted, if approved by the Board of Adjustment in accordance with the procedures and under the conditions set forth in ARTICLE IX, provided such conditional uses shall comply with the height and area regulations and with the parking regulations for similar uses set out elsewhere in this ordinance.

- (1) Lounges, bars, taverns, and similar establishments.
- (2) Printing and publishing establishments.
- (3) Theaters, bowling alleys, skating rinks, and similar uses.

7. The "C-3" General Commercial District

The purpose of this district is to protect and improve older business districts in established communities and to encourage the development of new shopping areas serving wide areas and offering a wide range of goods and services. Such districts usually have an intermingling of uses including some of an industrial character. More uses and taller structures are permitted than in the other business districts; no setbacks are required except where they adjoin residential districts. In the "C-3" General Commercial District, a building or premises shall be used only for the following purposes:

a. Permitted uses:

- (1) Any use permitted in the "C-1" Neighborhood Commercial District, including all listed conditional uses of the "C-1" Neighborhood Commercial Districts with no size restriction.
- (2) Bowling alleys, dance halls, or skating rinks.
- (3) Farm implements, sale and repair.
- (4) Farm stores or feed stores, including accessory storage of liquid or solid fertilizer.
- (5) Hotels and motels.
- (6) Laboratories, research, experimental or testing.
- (7) Offices and office buildings, including general business, professional, data processing, and similar office types.
- (8) Public garages, filling stations, automobile and truck sales and repair shops or parking lots.
- (9) Used car, trailer, or boat sales or storage lot.
- (10) Private commercial school.
- (11) Bus depot.
- (12) Printing and publishing establishments.
- (13) Generally other retail and service uses similar to those permitted in (1) to (12) above.
- (14) Accessory buildings and uses as provided in ARTICLE VI.
- (15) Private clubs.

b. Conditional uses:

The following uses may be permitted, if approved by the Board of Adjustment, in accordance with the procedures and under the conditions set forth in ARTICLE IX, provided such conditional uses shall comply with the height and area regulations and with the parking regulations for similar uses set out elsewhere in this ordinance.

- (1) Lounges, bars, taverns, and similar establishments.

8. The "C-4" Planned Commercial District

The purpose of this district is to provide for modern, attractive, and efficient retail shopping facilities. It is intended that the district will be designed, developed, and operated as a unit and will serve an area larger than the surrounding neighborhood. A minimum area of five acres is required for this district. An aerial plan for the development of the entire area is required, but the development may occur in stages. This district should be adjacent to one or more heavily traveled highways and may be in an area zoned for agriculture or residential use if the plan for development is approved. The regulations set forth in this section or set forth elsewhere in this ordinance when referred to in this section are the district regulations in the "C-4" Planned Commercial District.

a. Plan Required.

The "C-4" Planned Commercial District shall be established only upon application, after public hearing as specified in the amendatory procedures of ARTICLE XV and shall require an approved plan as provided below, in order to provide for modern shopping and office centers of integrated design.

b. Minimum District Area

The minimum area for a Planned Commercial District shall be five acres.

County Live Document

ARTICLE VII COMMERCIAL DISTRICTS

1. "C-1" NEIGHBORHOOD COMMERCIAL DISTRICT

A. Purpose: The purpose of this district is to provide for retail shopping for everyday needs and personal services to serve the surrounding residential areas. The height of buildings and open spaces surrounding the district will not adversely affect nearby residences. Generally, the districts are located at the intersections of major streets within residential areas. In the "C-1" Neighborhood Commercial District, a building shall be limited to an area up to 10,000 square feet and the premises shall be used only for the following purposes.

B. Permitted Uses:

- (1) Accessory dwelling unit
- (2) Art or photo studio
- (3) Bakery, retail
- (4) Barber or beauty shop
- (5) Cleaning pickup station
- (6) Day care center
- (7) Doctor or dentist offices
- (8) Drug store
- (9) Financial services, banks, savings and loan associations
- (10) Flower or plant store
- (11) Grocery store
- (12) Indoor recreation center, arcade with video, pinball machines but excluding theaters, bowling alleys, skating rinks
- (13) Music or dancing academy
- (14) Nursery school
- (15) Offices
- (16) Photo-finishing, pick up station
- (17) Post office or postal facility
- (18) Public Service Facilities
- (19) Print shops
- (20) Radio and television towers, antennas, earth stations or wireless communication facilities, which are
- (21) co-location, or do not exceed 35 feet in height
- (22) Repair and service shops for repair and servicing of bicycles, electrical, radio, television appliances, keys and similar articles
- (23) Restaurant and carryout restaurant
- (24) Retail shops, other
- (25) Self service laundry and dry cleaning facilities
- (26) Veterinary clinic where there are no open kennels
- (27) Accessory uses as provided in Article X.
- ~~(28) Convenience Store~~
- (29) Cannabis Dispensary subject to and conditioned upon the following:
 - (a) Site Plan Review required.

~~C. Conditional uses:~~ The following uses may be permitted, if approved by the Board of Adjustment, in accordance with the procedures and under the conditions set forth in Article XIV, provided such conditional uses shall comply with the height and area regulations and with the parking regulations set out elsewhere in this ordinance.

- (1) Churches
- (2) Club, lodge, country club
- (3) Schools, public or private
- ~~(4) Gas pumps as an accessory use to a convenience store.~~
- (5) Car Wash
- (6) Theaters but not drive-in theaters
- (7) Temporary use of prefabricated buildings or mobile homes for any permitted or conditional uses listed above other than accessory buildings.
- (8) Radio and television towers, antennas, earth stations, or wireless communication facilities, which are not a co-location, or do exceed 35 feet in height.
- (9) Expansion of non-conforming uses

D. Off-street parking and loading shall be prescribed in Article XV, Minimum area, yard, and height requirements which govern any use in this district are listed on the Chart of Regulations, unless otherwise regulated in this Article.



Southaven

Top of Mississippi

Planning Commission

August 28, 2023 -6:00 p.m.

~~Hugh A. Green~~
Hugh A. Green

2945 Geoffrey Dr.

901-371-6595

GAS STATION

NAME	ADDRESS	PHONE #	AGENDA ITEM
Robert Scott	2505 Appleton	901 652 6556	Gas Station
James McIntosh ^{CRASH 9/6/02}	2945 College Rd	985-966-9498	Gas station
Katie McIntosh	2745 College Rd	985-966-9499	Gas Station.
Rodney Adams	4060 CHALICE DR.	901-281-1845	GAS STATION
Mark Kingsley	4240 Chalice DR	901-337-8433	angii@reflexxion.com
Kelly Whigham	4182 Weladay Dr	901-319-2560	kjwhigham1906@gmail.com
Tyrone Downs	2123 COLLEGERD	803-979-8446	TYDOWNS79@GMAIL.COM
William C. Pilot	4089 Squire Cove	901 827-8492	wpilotebellsouth.net
Belinda Oakley	2465 Cumberland Dr.	601-259-0040	oakley.belinda@yahoo.com
Zach Dawd	2367 Rickens Place A	901-857-4844	zsdawd@gmail.com
Howard Glena	2304 College Rd	901-483-6788	drhylene3@gmail.com
DEBORAH HARRISON	2950 Geoffrey DR	901-569-7364	harrisond1987@gmail.com
Donna Johnston	3955 KENTON DRIVE	801-331-6837	jetloc3@gmail.com
Patricia Johnston	3955 Kenton Drive	860-997-3329	pdaugh63@gmail.com



Southaven

Top of Mississippi

Planning Commission

August 28, 2023 -6:00 p.m.

4415 CHALICE DR SHAVEN 901 355 7776 RDLARNED2@GMAIL.COM

~~ROBERT LEARNED~~

NAME	ADDRESS	PHONE #	AGENDA ITEM
Maggie Mumby	2470 Cumberland	901 335 2417	Gas station/Item 5
LORI O'NEAL	4240 CHALICE	901.283.4210	Gas
HABILL Kingsley	4240 CHALICE	901.275.2220	Gas
LISA Dettor	4519 Westminister	662.710.2333	Gas station/Item 5
Tracy Klenk	4519 Westminister	901.409.4545	" " "
Linda D. Kermit	4068 Chaucer Cove ³⁸⁶⁷²	901-387-7943	Linda Kermit@gmail.com ✓
Albert Blanton	4210 Saint Anne Cove ³⁸⁶⁷²	901-605-7214	agbl937@bellsouth.net
Margaret Huls	4210 Saint Anne Cove	901-219-8120	jimmang16@gmail.com
Mittie Green	2945 Geo Sledge	501 371-8577	m:772.greene@gmail.com
Jason Quevedo	2426 Middleburg Dr	951-454-5588	jasong777@gmail.com - gas station
Grace Pilot	4089 Squeeze Cove	901-494-1335	gpilot@bellsouth.net
Lynn Scarrigos	2485 Appleton Dr.	504-275-7950	lynnscarrdh@att.net
Ronald Scarrigos	2485 Appleton Dr.	504-275-7950	lynnscarrdh@att.net
Haak News	2318 Briarwood Dr	901 288 6793	HBlone@comcast.net
Sandra Learned	4415 Chalice Dr	901 233 7984	sassylearned@gmail.com → nve



Southaven

Top of Mississippi

Planning Commission

August 28, 2023 -6:00 p.m.

Christi McCafferty 2205 Appleton Dr 901-834-1146 christiandmark@comcast.net

NAME	ADDRESS	PHONE #	AGENDA ITEM
Angela Hanson	4000 Kenton Dr	901-486-5177	workingwithnuts@yahoo.com
Lois A. Steiner	4000 Kenton Dr.	901-262-6999	amndogsmom@yahoo.com
Boyd Dickey	2255 Appleton Dr	901-461-2246	boicats132@bellsouth.net
Kory Myers	4239 Arabella Dr	662-269-1909	KMYERS360@QNA.I.
Mary Myers	4239 Arabella Dr.	662-404-6772	mary.myers76@yahoo.com
Don H Davis	3653 Woodcutter Dr	478-326-3134	doncd1@yahoo.com
Barbara Greene	2785 Pershing Cove	901-494-5050	bgreene2381@bellsouth.net
Lewis Conley	2323 Prioress Dr.	901-233-8012	ccBlueClubPacker@miricre
Danni Long	2318 Prioress Dr.	901-288-6790	danni long 70@gmail.com
Mike Pate	2164 College Rd	901-461-6532	dickensplacehoa@gmail.com
Matthew Pate	2164 college rd	901-497-3775	mattapate@protonmail.com
Dan & Bonnie Rayburn	2939 Bol Fin Dr.	859-322-9909	nicgrewe5r0703@yahoo.com
DARRELL DEAN	2905 COLLEGE Rd.	601-590-4528	vgh1k12@gmail.com
Ashlynn Meixsell	2965 college rd.	336-740-2825	ashlynn.meixsell@gmail.com

CHAPTER 9. - CONDITIONAL USES

Sec. 13-9(a). - Authorized.

Subject to the provisions of sections 13-9(b) and 13-9(c), the governing authority may by board order grant a conditional use permit for the uses enumerated as conditional uses in any zoning district as herein qualified and shall impose appropriate conditions and safeguards including a specified period of time for the use to protect the comprehensive plan and conserve and protect property and property values in the neighborhood.

Sec. 13-9(b). - Applications.

- (a) Applications for conditional use permit for uses authorized by this chapter shall be made to the office of planning and development. The application form shall be specified by the governing authority and shall be disseminated by the office of planning and development. A complete application package shall include the following information:
- (1) Name, address and phone number of property owner;
 - (2) Name, address and phone number of applicant;
 - (3) Property address;
 - (4) Requested use;
 - (5) A cover letter in support of the request, stating the need, impacts, and reasoning for the permit request;
 - (6) Vicinity map drawn to scale on eight and one-half by eleven-inch paper, showing all property affected by the application, the name and address of the owner and the dimensions of each parcel, and the width of all adjacent streets. The "property affected" shall mean the area within a five hundred-foot radius if within a developed area and within one-fourth (¼) mile if within an undeveloped area;
 - (7) Site plan of the property to be considered, drawn to scale, and including the following:
 - a. Boundary description, including area, bearings and dimensions of all property lines.
 - b. Site location map;
 - c. Title block, including name of development, developer/owner, engineer, section, township and range, acreage, zoning;
 - d. Footprint of proposed or existing structures including height in stories and feet, floor area ratio, total floor area, and total square feet of ground area coverage.
 - e. Provisions for landscaping, screening, buffering, and open space areas.
 - f.

The location, arrangement and dimensions of:

1. Existing and proposed streets and driveways;
 2. Adjacent streets;
 3. Sidewalks;
 4. Parking areas, including the number of off-street parking spaces;
 5. Points of ingress and egress;
 6. Off-street loading areas;
 7. Other vehicular, bicycle or pedestrian rights-of-way.
- (8) Two (2) collated copies and one (1) digital copy of the application, site plan, legal description, vicinity map, cover letter and list of surrounding property owners.
- (b) The planning commission will investigate all aspects of the application giving particular regard to whether such use will:
- (1) Substantially increase traffic hazards or congestions;
 - (2) Substantially increase fire hazards;
 - (3) Adversely affect the character of the neighborhood;
 - (4) Adversely affect the general welfare of the city;
 - (5) Overtax public utilities or community facilities;
 - (6) Be in conflict with the comprehensive plan.
- (c) After review, the planning commission shall forward the application, together with its recommendation, to the governing authority for their consideration. Before review by the planning commission in a public hearing, a minimum of fifteen (15) days' notice of the hearing in an official paper along with a public notice sign erected as specified in the application detailing the time and place for the hearing must be submitted. If the findings by the governing authority relative to the above subjects are that the city would benefit from the proposed use and surrounding area would not be adversely affected, then such permits may be granted.

Sec. 13-9(c). - Compliance with zoning district regulations.

Any proposed conditional use shall otherwise comply with all the regulations set forth in this title for the zoning district in which such use is located.

Secs. 13-9(d)—13-9(j). - Reserved.

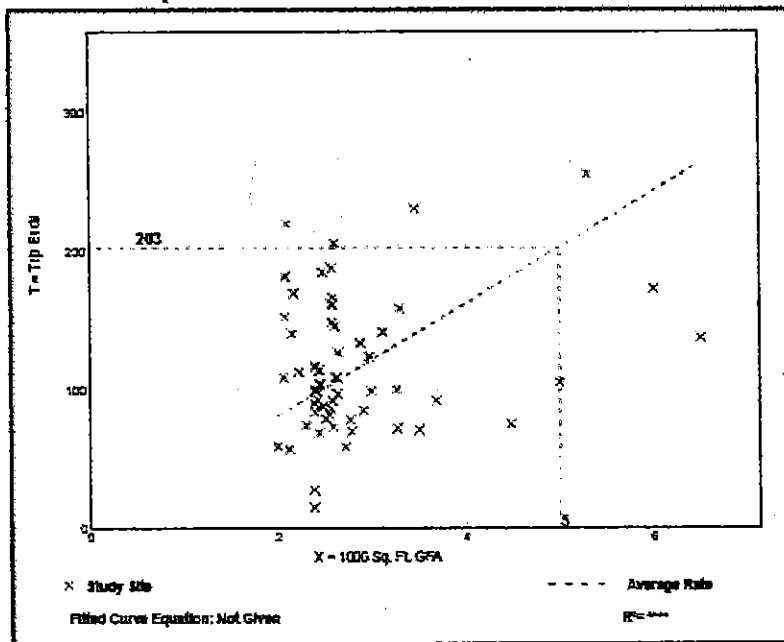
Convenience Market with Gasoline Pumps (853)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 7 and 9 a.m.
 Setting/Location: General Urban/Suburban
 Number of Studies: 57
 Avg. 1000 Sq. Ft. GFA: 3
 Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
40.59	6.35 - 104.75	19.18

Data Plot and Equation



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers

Figure 6 - Convenience Market AM Trip Generation

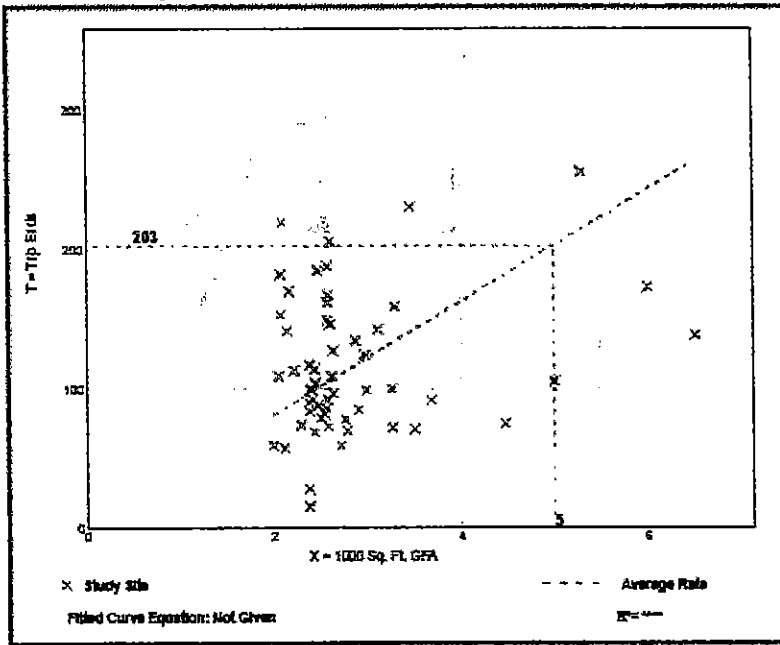
Convenience Market with Gasoline Pumps (853)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 7 and 9 a.m.
 Setting/Location: General Urban/Suburban
 Number of Studies: 57
 Avg. 1000 Sq. Ft. GFA: 3
 Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
40.58	6.35 - 104.78	18.19

Data Plot and Equation



20 Gen Manual, 10th Edition • Institute of Transportation Engineers

Figure 6 - Convenience Market AM Trip Generation

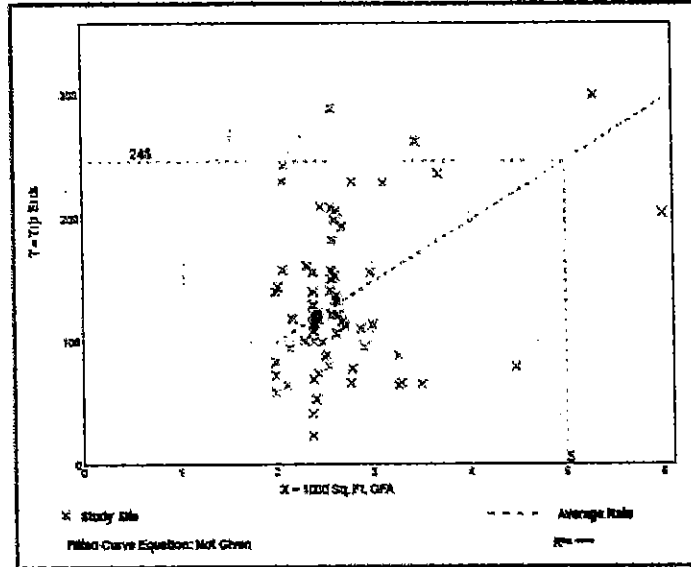
Convenience Market with Gasoline Pumps (853)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 4 and 6 p.m.
 Setting/Location: General Urban/Suburban
 Number of Studies: 67
 Avg. 1000 Sq. Ft. GFA: 3
 Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
48.29	8.66 - 115.71	22.46

Data Plot and Equation



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers

Figure 7 - Convenience Market PM Trip Generation

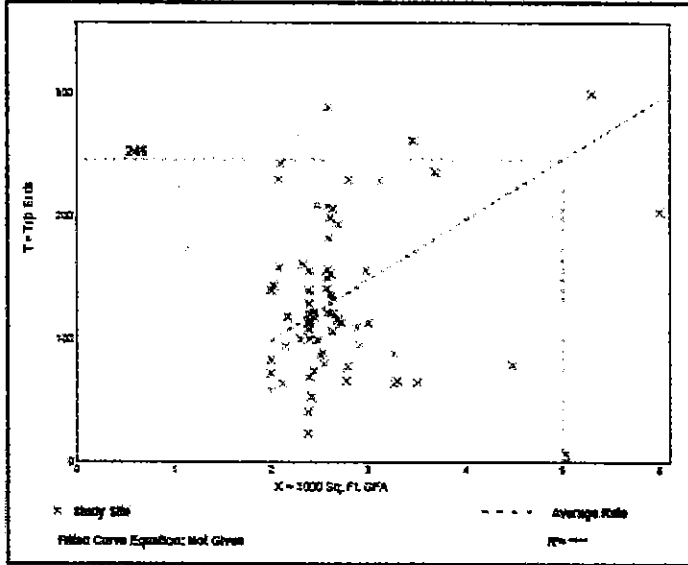
Convenience Market with Gasoline Pumps (853)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
 On at: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 4 and 5 p.m.
 Setting/Location: General Urban/Suburban
 Number of Studies: 67
 Avg. 1000 Sq. Ft. GFA: 3
 Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
49.28	8.58 - 115.71	22.48

Data Plot and Equation



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers

Figure 7 - Convenience Market PM Trip Generation

**THE CITY OF SOUTHAVEN, MISSISSIPPI GRANTING CONDITIONAL
USE PERMIT TO SHANIQUA CAMPBELL AT 362 STATELINE ROAD,
SOUTHAVEN, MISSISSIPPI**

WHEREAS, the City of Southaven's ("City") Planning Commission previously held a hearing on August 28, 2023 for the conditional use permit ("permit") application of Shaniqua Campbell (the "Applicant") for a nail salon located at 362 Stateline Road, Southaven, Mississippi; and

WHEREAS, "Conditional Use" is defined in the City Code of Ordinances at Title XIII, Chapter 1, Section 13-1(b) as "a use that would not be appropriate generally or without restrictions throughout the zoning district but which, if controlled as to number, area, location or relation to the neighborhood, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare;" and

WHEREAS, the Laws of the State of Mississippi, Section 17-1-1 to 17-1-27, inclusive, of the Mississippi Code of 1972, annotated, as amended, empower the City to enact a Zoning Ordinance and to provide for its administration, enforcement and amendment; and

WHEREAS, pursuant to Mississippi Code Ann. Sections 21-17-5, the City has the authority to adopt ordinances with respect to City property including the adoption of all lawful orders, resolutions or ordinances with respect to municipal affairs, property, and finances, and to alter, modify, and repeal such orders, resolutions or ordinances; and

WHEREAS, based on findings of the City Planning Commission at the hearing and City Code of Ordinances and City staff report as further set forth in Exhibit A to this Resolution, the City's Planning Commission recommends, subject to the City Board's revocation, a one (1) year permit, and the permit may be renewed for four (4), one year extensions at the discretion of the City Board of Aldermen, pursuant to its discretion as set forth in the City Code of Ordinances at Title XIII, Chapter 9, Section 13-9(a); and

NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

1. Subject to the Board's revocation for violation of the permit or ordinances, the City Board grants a permit to the Applicant for a nail salon at 362 Stateline Road, Southaven, Mississippi for one (1) year with up to four (4), one-year extensions to be renewed annually at the discretion of the City Board of Aldermen.
2. The Mayor and City Planning Director or their designee are authorized to take any and all action to effectuate the intent of this Resolution.

Following the reading of this Resolution, it was introduced by Alderman Kelly and seconded by Alderman Hoots. The Resolution was then put to a roll call vote and the results were as follows, to-wit:

Alderman William Jerome	voted: YES
Alderman Kristian Kelly	voted: YES
Alderman George Payne	voted: YES
Alderman Joel Gallagher	voted: YES
Alderman Charlie Hoots	voted: YES
Alderman Raymond Flores	voted: YES
Alderman John Wheeler	voted: YES

Having received a majority of affirmative votes, the Mayor declared that the Resolution was carried and adopted as set forth above on this the 19th day of September, 2023.

CITY OF SOUTHAVEN, MISSISSIPPI

BY: 
DARREN MUSSELWHITE, MAYOR

ATTEST:

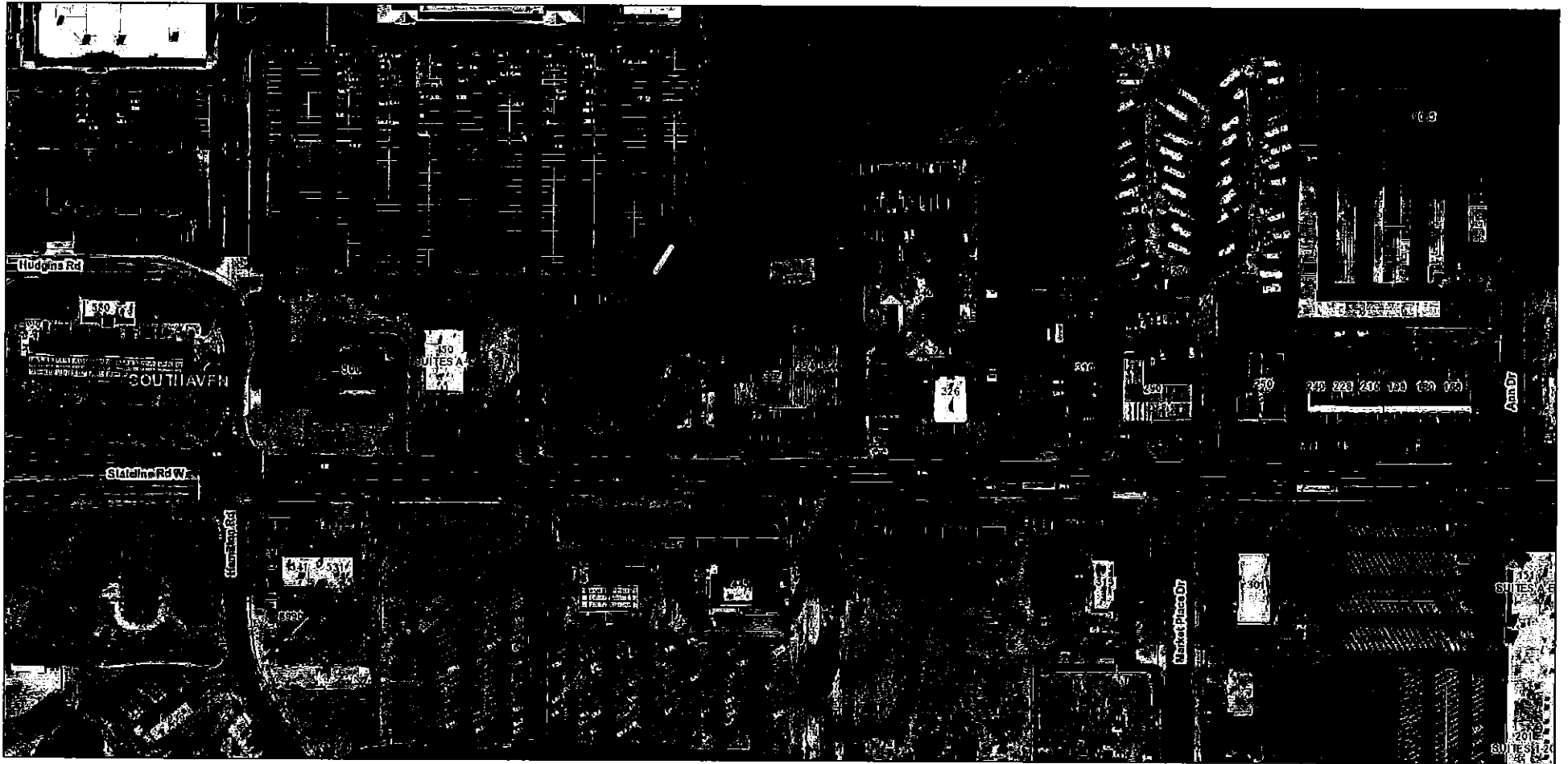

CITY CLERK



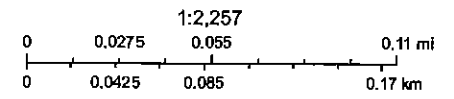
City of Southaven
Office of Planning and Development
Conditional Permit Use Staff Report



Date of Hearing:	August 28, 2023
Public Hearing Body:	Planning Commission
Applicant:	Shaniqua Campbell 4038 Davall Drive Olive Branch, MS 38654 901-215-8894
Total Acreage:	NA
Existing Zone:	General Commercial (C-3)
Location of Conditional Use Application:	362 Stateline Road
Requirements for CUP:	
<i>"A maximum of two (2) barber shops, hair/beauty salons, hair studios, spa (full service), nail salons, tanning salons and hair braiding establishments/wigology establishments may locate in the stated zones with the stated requirements so long as two existing establishments of the same classification are not currently located within a half mile (1/2) radius of the newly proposed establishment."</i>	
Comprehensive Plan Designation:	Commercial
Staff Comments:	The applicant is requesting a conditional use permit for a full service spa to be located at 362 Stateline Road on the north side of Stateline Road, just east of Hamilton Road. Per the application, the owners intends to offer manicures, pedicures, nail extensions, nail art and additional nail care services. There are no other amenities on site.
Staff Recommendations:	After review of the applicant's paperwork, this establishment does not meet the requirements for a full service spa which requires three or more amenities. It does, however, meet the standards for a nail salon, which by definition is also required to meet the ½ mile distance rule. The Board of Alderman recently revised this ordinance to allow for a maximum of two (2) nail salons within the ½ distance area in an effort to ease the concerns of business owners wishing to locate in the city. That being said, staff did a window survey to determine the distance compliance and the closes nail salon is identified on Millbranch Road which is over ½ mile away from the proposed location. The applicant has met the requirements for the conditional use; therefore, staff recommends approval of a one (1) year permit with a four (4) year extension to be renewed annually.



August 21, 2023





Business Plan for Rich Cheap Chick Nail & Beauty Spa
Shaniqua Campbell
4038 Davall Dr
Olive Branch, MS, 38654
Richcheapchick@gmail.com
(901) 215-8894
July, 19.2023

Executive Summary:

Our nail salon, "Rich Cheap Chick Nail & Beauty Spa," will be a premium nail care service provider located in a prime commercial area. Our salon will offer a wide range of high-quality nail treatments and services in a luxurious and relaxing environment. With a team of skilled technicians, exceptional customer service, and a commitment to hygiene and safety, Rich Cheap Chick Nail & Beauty Spa aims to become the go-to destination for individuals seeking top-notch nail care experiences.

1. Business Description:

Rich Cheap Chick Nail & Beauty Spa will be a full-service nail/spa providing manicures, pedicures, nail extensions, nail art, and other nail care services. We will employ experienced nail technicians who stay updated with the latest trends and techniques in the industry. Our salon will feature modern furnishings, state-of-the-art equipment, and a serene ambiance to ensure our customers feel pampered and relaxed.

2. Market Analysis:

The nail salon industry has experienced consistent growth over the past decade, driven by increased disposable income, changing fashion trends, and the desire for self-care and indulgence. Our target market will primarily consist of women aged 18-45, who are fashion-conscious and appreciate professional nail care services. We will also cater to men who are interested in nail care and grooming.

3. Competitive Analysis:

While there are existing nail salons in the area, Rich Cheap Chick Nail & Beauty Spa will differentiate itself through a focus on quality, customer service, and attention to detail. We will provide a wide range of high-quality nail products, including organic and vegan options, to cater to different customer preferences. Our salon will strive to create a personalized experience for each client, ensuring their individual needs and desires are met.

4. Marketing and Sales:

To attract customers and build a strong brand presence, Rich Cheap Chick Nail & Beauty Spa will implement various marketing strategies. These will include social media marketing, online advertising, partnering with local fashion influencers, participating in community events, and offering special promotions and loyalty programs. Additionally, we will focus on providing excellent customer service and creating a warm and inviting atmosphere to encourage repeat business and positive word-of-mouth referrals.

5. Operations:

Rich Cheap Chick Nail & Beauty Spa will operate seven days a week, with extended hours on weekends to accommodate busy individuals. We will maintain a clean and hygienic environment by adhering to strict sanitation protocols and using high-quality products. Our salon will invest in the latest nail care equipment and technologies to ensure efficient service delivery and customer satisfaction.

6. Organization and Management:

Rich Cheap Chick Nail & Beauty Spa will be owned and managed by experienced individuals who have a deep understanding of the nail care industry. A team of skilled nail technicians will be hired, trained, and supervised to deliver exceptional services. Additionally, we will employ receptionists to handle appointments, customer inquiries, and maintain smooth salon operations.

7. Financials:

The initial investment for Rich Cheap Chick Nail & Beauty Spa will cover leasehold improvements, equipment, inventory, marketing, and salaries. We project a steady increase in revenue year over year, with profitability achieved within the first two years of operation. Our pricing strategy will be competitive, considering the quality and range of services offered.

Conclusion:

Rich Cheap Chick Nail & Beauty Spa aims to become the leading nail/spa in the area by offering exceptional services, maintaining high standards of hygiene, and creating a luxurious atmosphere. With a strong marketing strategy, a skilled team, and a commitment to customer satisfaction, we are confident in our ability to capture a significant market share and achieve long-term success.

370 Stateline Rd W

Southaven, Mississippi

Google Street View

Jun 2022 See more dates

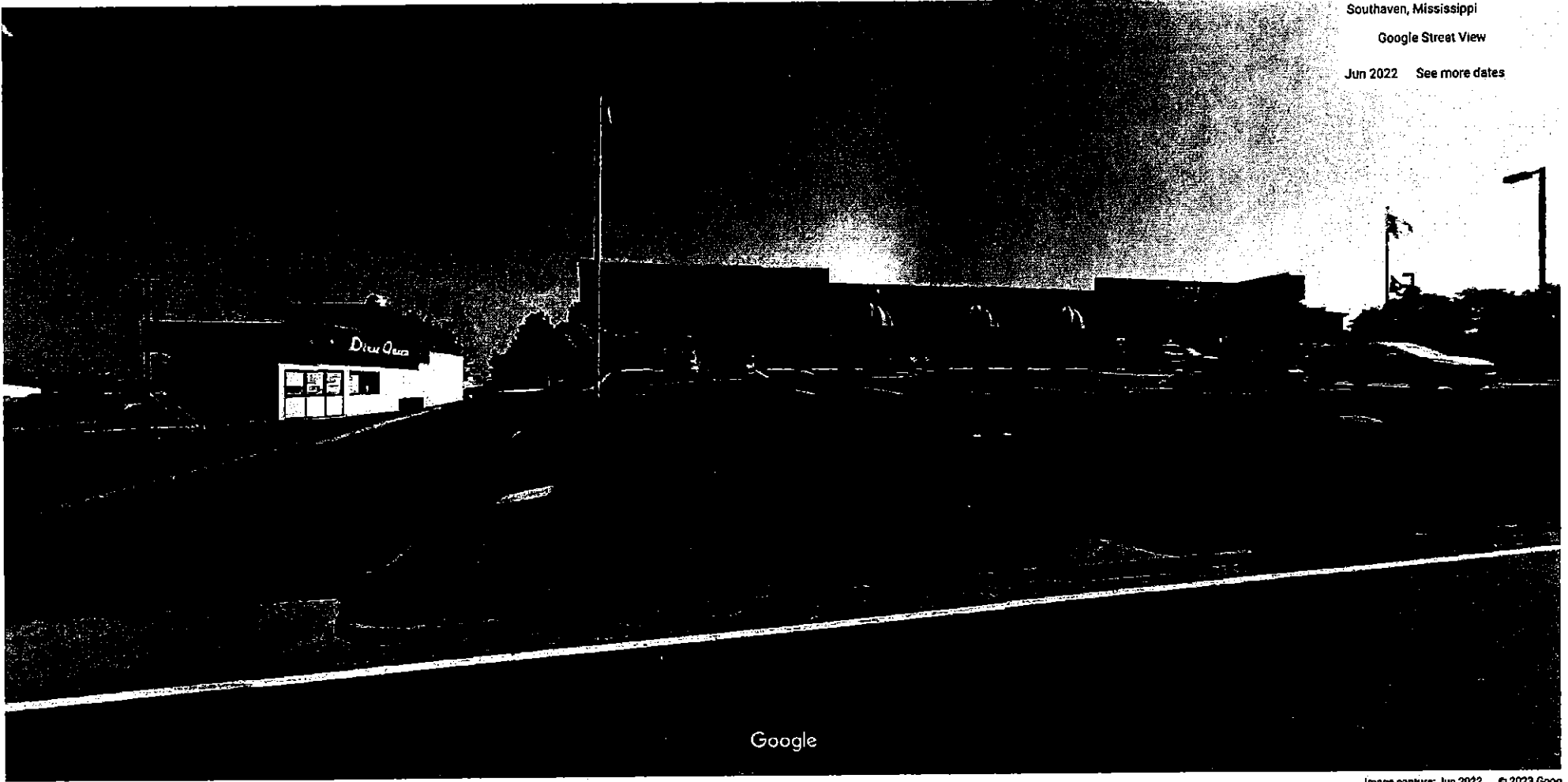
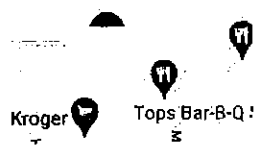
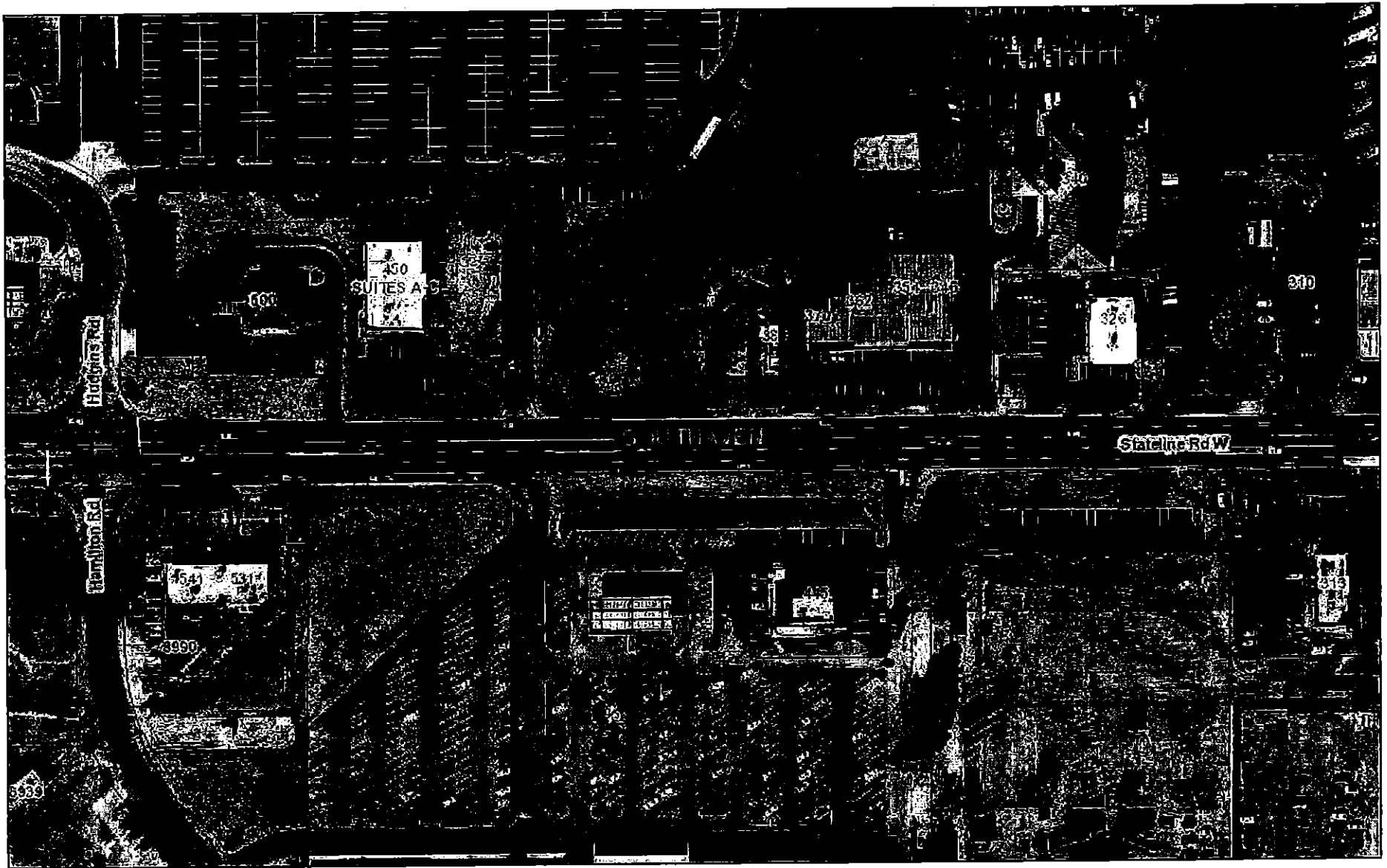
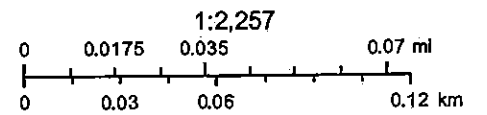


Image capture: Jun 2022 © 2023 Goog





August 4, 2023



CITY OF SOUTHAVEN
PUBLIC NOTICE

ZONING HEARINGS

City Hall
8710 Northwest Drive
Southaven, MS 38671

PLANNING COMMISSION: August 28, 2023 6:00pm
BOARD OF ALDERMEN: September 19, 2023 6:00pm

REQUEST: Conditional Use
LOCATION: 362 Stateline Road

APPLICANT: Shaniqua Campbell
PHONE NUMBER: 901-215-8894

Case File Available at City of Southaven
662-393-0111

Posting Date: August 13, 2023

Penalty for removing or defacing sign prior to date of last hearing.

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI GRANTING CONDITIONAL
USE PERMIT TO MICHAEL LIKENS FOR MOTOR VEHICLE REPAIR
SHOP LOCATED AT 1931 VETERANS DRIVE IN SOUTHAVEN,
MISSISSIPPI**

WHEREAS, the City of Southaven's ("City") Planning Commission previously held a hearing on August 28, 2023 for the conditional use permit ("permit") application of Michael Likens (the "Applicant") for a motor vehicle repair shop located at 1931 Veterans Drive in Southaven, Mississippi; and

WHEREAS, the City Code of Ordinances define a "Motor Vehicle Service and Repair" and set forth the requirements as provided in Exhibit A; and

WHEREAS, "Conditional Use" is defined in the City Code of Ordinances at Title XIII, Chapter 1, Section 13-1(b) as "a use that would not be appropriate generally or without restrictions throughout the zoning district but which, if controlled as to number, area, location or relation to the neighborhood, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare;" and

WHEREAS, the Laws of the State of Mississippi, Section 17-1-1 to 17-1-27, inclusive, of the Mississippi Code of 1972, annotated, as amended, empower the City to enact a Zoning Ordinance and to provide for its administration, enforcement and amendment; and

WHEREAS, pursuant to Mississippi Code Ann. Sections 21-17-5, the City has the authority to adopt ordinances with respect to City property including the adoption of all lawful orders, resolutions or ordinances with respect to municipal affairs, property, and finances, and to alter, modify, and repeal such orders, resolutions or ordinances; and

WHEREAS, based on findings of the City Planning Commission at the hearing and City Code of Ordinances and City Staff Report as further set forth in Exhibit A to this Resolution, the City's Planning Commission recommends, subject to the City Board's revocation and the Applicant adhering to all requests and stipulations in the City Staff Report, a conditional use permit with one year extensions at the discretion of the City Board of Aldermen, pursuant to its discretion as set forth in the City Code of Ordinances at Title XIII, Chapter 9, Section 13-9(a); and

NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

1. Subject to the Board's revocation for violation of the permit or ordinances and Applicant's compliance with the requirements as set forth in the Staff Report attached hereto as Exhibit A, the City Board grants a conditional use permit to the Applicant for motor vehicle repair shop located at 1931 Veterans Drive, Southaven, Mississippi for one (1) year to be renewed annually at the discretion of the City Board of Aldermen and subject to the City Board's revocation.

2. The Mayor and City Planning Director or their designee are authorized to take any and all action to effectuate the intent of this Resolution.

Following the reading of this Resolution, it was introduced by Alderman Hoots and seconded by Alderman Jerome. The Resolution was then put to a roll call vote and the results were as follows, to-wit:

Alderman William Jerome	voted: YES
Alderman Kristian Kelly	voted: YES
Alderman George Payne	voted: YES
Alderman Joel Gallagher	voted: YES
Alderman Charlie Hoots	voted: YES
Alderman Raymond Flores	voted: YES
Alderman John Wheeler	voted: YES

Having received a majority of affirmative votes, the Mayor declared that the Resolution was carried and adopted as set forth above on this the 19th day of September, 2023.

CITY OF SOUTHAVEN, MISSISSIPPI

BY: 
DARREN MUSSELWHITE, MAYOR

ATTEST:


CITY CLERK

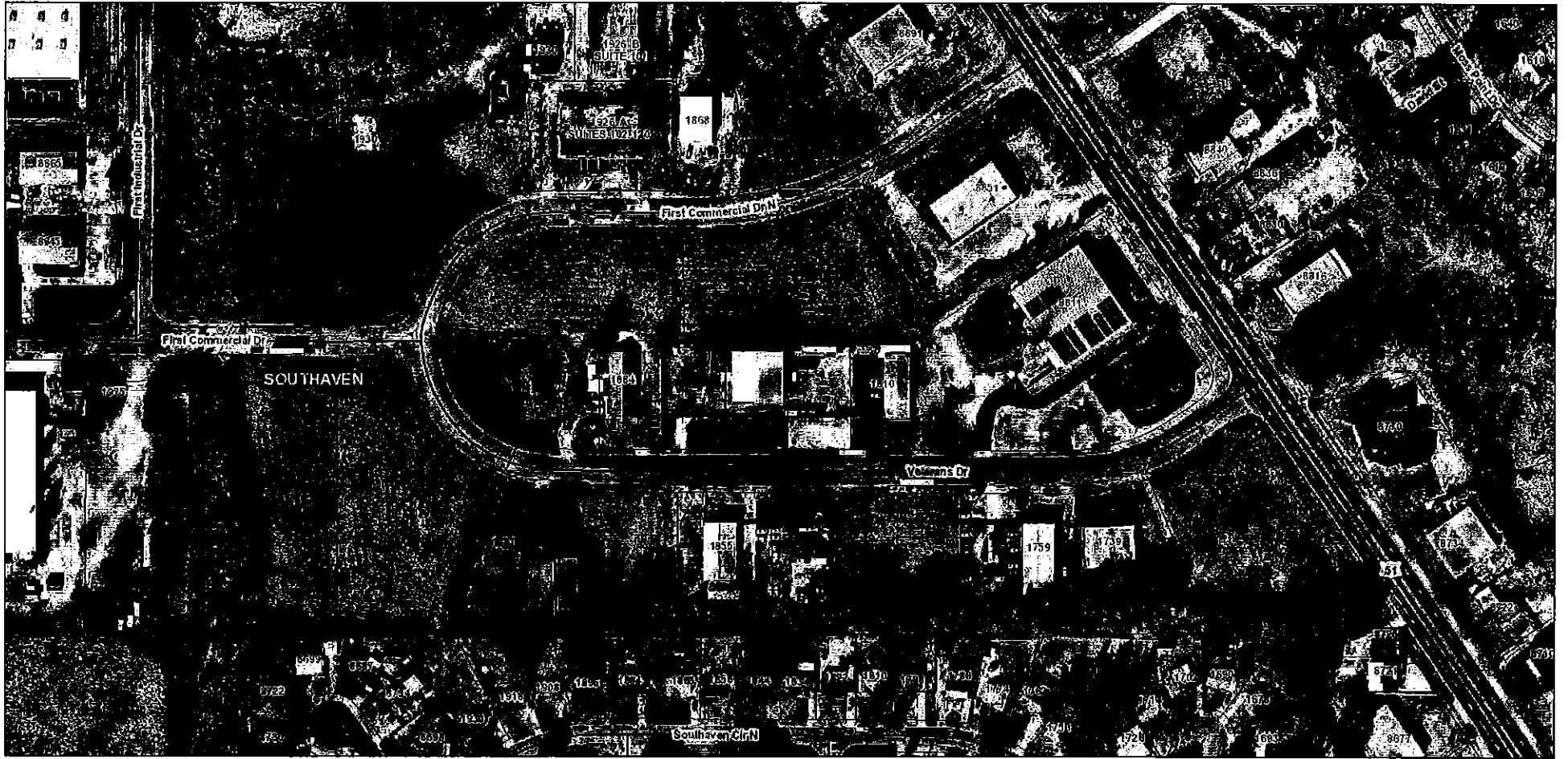


City of Southaven
Office of Planning and Development
Conditional Permit Use Staff Report

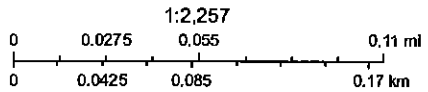


Date of Hearing:	August 28, 2023
Public Hearing Body:	Planning Commission
Applicant:	Michael Likens 1541 Mt. Pleasant Road 901-413-0496
Total Acreage:	1.33 acres
Existing Zone:	Planned Commercial (C-4)
Location of Conditional Use Application:	West of Hwy. 51, on the south side of Veterans Drive
Requirements for CUP:	
<i>"Motor vehicle service and repair. Salvage or junk, and any major repair or storage of equipment of materials or damaged vehicles shall be completely concealed from surrounding properties and no more than five (5) non-compliant vehicles shall be stored on the property at any one time. Fences utilized for this purpose shall be solid and of uniform construction and color and of sufficient height to completely conceal the vehicles. Three (3) non-compliant vehicles may be stored on the property without being concealed for a period not to exceed one hundred twenty (120) days."</i>	
Comprehensive Plan Designation:	Planned Commercial (C-4)
Staff Comments:	
<p>The applicant is requesting a conditional use permit for motor vehicle repair and towing to be located at 1931 Veterans Drive. The site has an existing office building and repair shop on site with a sight proof fence line and gated access on the east side. Per the applicant's submission paperwork, the existing two story office building will be renovated to meet code and have a more modern appearance and will be used by administrative staff for customer service duties. The existing accessory building on site has four (4) roll up bay doors and is designed for repair. The applicant will use this portion of the property for auto repair of customer vehicles as well as maintenance to business vehicles. The paved area behind the main building is proposed to store towed vehicles and will be situated behind a sight proof fence line.</p>	
Staff Recommendations:	
<p>Staff has no issues with the request as there are several similar establishments in this immediate vicinity. Staff would like to state that any vehicles that are wrecked or towed should not be on site any longer than the 120 days as stated in the ordinance under the repair. The towing request allows for additional vehicles to be stored on site but this should be temporary in nature and the vehicles should only be parked on the paved surfaces. Staff</p>	

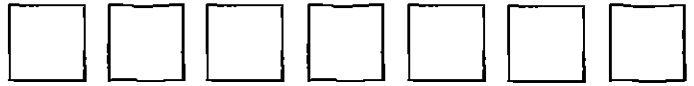
recommends a one (1) year conditional use permit with a four (4) year extension pending compliance and annual inspection.



August 21, 2023



The location of 1931 veterans drive in Southaven MS. Will be defined as the new headquarters of American Towing and repair. The main building on the property will be remodeled and updated to current standards to be used as an office for my staff to answer phone calls, billing, every day required tasks, and a place for customers to come by to pick up their cars if they have been towed. The shop behind the gate will be used as a repair shop to work on vehicles as well as the company vehicles. The empty lot within the fenced area of the property will be used as a storage yard for vehicles, this location will allow American towing to tow for the Southaven police department. The fence surrounding the property will maintain a privacy fence to block the view of wrecked cars from the street. This location is off the main road and has a big enough driveway that we will not add any type of traffic hazards, fire hazards, does not change the character of the neighborhood/general welfare of the city, will not change the public utilities, and will not conflict with the comprehensive plan.



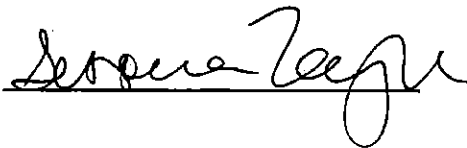
ZONING HEARINGS

PLANNING AND ZONING DEPARTMENT
CITY OF CHICAGO
430 NORTH LA SALLE STREET
CHICAGO, ILLINOIS 60610
TEL: 312-321-1111

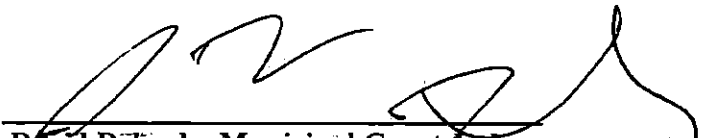
City of Southaven Oath of Office




I, Susanna Taylor, do solemnly swear that I will faithfully support
the Constitution of the United States and the Constitution of the State of Mississippi
and obey the laws thereof; that I am not disqualified from holding the office of
Deputy Court Clerk, and that I will faithfully discharge the duties of
the office upon which I am about to enter, SO HELP ME GOD.

Signed 

Sworn to and subscribed before me this the 18th day of September 2023.



David Delgado, Municipal Court Judge

The seal of the Municipal Court of Southaven, Mississippi, is circular. It features a central illustration of an eagle with its wings spread. The text "MUNICIPAL COURT OF SOUTH AVEN" is written in a circle around the top, and "MISSISSIPPI" is written around the bottom. There are two stars on either side of the word "MISSISSIPPI".

FOR LEGAL SERVICES

THIS AGREEMENT made by and between the City of Southaven, Mississippi (“City”) and Butler, Snow LLP (“Firm”) for legal services.

WITNESSETH:

In consideration of the mutual covenants contained herein, and subject to the terms and conditions set forth, it is hereby understood and agreed by the parties as follows:

I. **SCOPE OF SERVICES:** The Firm will, upon the request of the City and acceptance of the tendered engagement by the Firm and pursuant to the appointment by the Southaven Board of Aldermen to perform services in the areas of environmental, local government law, federal and state regulatory law, board meetings, research, review of contracts, drafting of contracts, Mississippi Attorney General Opinion requests, ethics opinions, real estate matters and compliance issues. This representation does not include litigation, real estate closings, aldermen or mayor outside of official capacity, aldermen or mayor in an action that is adverse to the City, employment and labor law matters, or bond issues. The Firm will assist with litigation issues at an hourly rate as needed on a monthly basis.

II. **PERIOD OF PERFORMANCE:** The term of this Agreement shall commence on October 1, 2023 and shall expire on September 30, 2024 subject to renewal by appointment of the City Board of Alderman.

III. **COORDINATOR OF SERVICES:** The Firm shall provide the City with a single point of contact who will attend the City Board Meetings and coordinate the requested services within the Firm for the City.

IV. **RELATIONSHIP OF PARTIES:** It is expressly understood and agreed that the Firm is an independent contractor and that the purchase of legal services is not based on an employer-employee relationship.

V. **CONFLICTS:** In the event any conflict arises due to representation of the City in any manner, the parties agree to use good faith efforts to resolve the conflict in a mutually satisfactory manner.

VI. **PAYMENT TERMS:** As full and complete compensation for the services to be provided hereunder, the City will pay the Firm at a flat rate of \$25,000.00 per month. The City agrees to pay the Firm all reasonable expenses incurred as a result of its representation of the City in an amount not to exceed \$450.00 a month. In the event the Firm anticipates its expenses shall exceed \$450.00 in a given month, the Firm shall notify the City and the City shall either approve or disapprove of the extra expenses.

Each month the Firm shall submit to the City an invoice for payment of attorney's fees and all authorized expenses, which shall be paid within forty-five (45) days of receipt.

VII. **BOND COUNSEL:** In the event the City shall issue bonds, a separate fee shall be negotiated in good faith by the City and Firm, at the time of issuance.

VIII. **SEVERABILITY:** It is understood and agreed by the parties hereto that if any part, term or provision of this contractual agreement is by the courts or other judicial body held to be illegal or in conflict with any law of the State of Mississippi, the validity of the remaining portions or provisions shall not be affected and the obligations of the parties shall be construed in full force as if the Agreement did not contain that particular part, term, or provision held to be invalid.

IX. **MODIFICATION OR AMENDMENT:** Modifications or amendments to this contract may be made upon mutual agreement of the parties, in writing and signed by the parties hereto.

X. **PREVIOUS CONTRACTS:** All prior contracts agreed to by the City and Firm for general services shall be replaced by this Contract and the terms set forth herein.

XI. **TERMINATION:** Any party may terminate this contract at any time by giving written notice to the other parties of such termination and specifying the effective date thereof, at least seven (7) working days before the effective date of such termination. In the event of such, Firm shall be entitled to receive just and equitable compensation for any specific services completed to the date of termination in a satisfactory manner.


XII. **PROTOCOL:** It is anticipated that the Mayor and Aldermen in their official capacities may have individual questions of the Firm regarding City Matters. As part of the Firm's research and opinion for each question of this type, the Firm, when practical and necessary, shall make the

individual request known to the entire City Board and thereafter also advise the entire City Board of its response to the question.

XIII. HIPPA: The City, through its Mayor, is authorized to execute any and all documents which may be required for HIPPA compliance.

IN WITNESS WHEREOF, the parties have executed this Agreement to be effective as of the date first written above.

CITY OF SOUTHAVEN

By: 

Mayor Darren Musselwhite

BUTLER, SNOW LLP

By: 

Nick Manley



The City of Southaven Docket Recap

SEPTEMBER 19, 2023

General Fund		2,145,384.58
Balance Sheet	7,531.52	
Mayor Admin	-	
Board of Aldermen	-	
Arts And Cultural Affairs	2,433.87	
Court	338,441.52	
Finance & Administration	120.03	
Information Technology	23,129.08	
City Clerk	4,442.29	
Operations Department	2,342.10	
Planning & Engineering	21,296.33	
Emergency Services	3,008.49	
Police	111,513.25	
Fire	26,712.22	
Fire Prevention	-	
EMS	65,700.56	
Public Works	44,021.60	
Streets	103,641.40	
Parks	485,371.23	
Park Tournaments	38,490.73	
Code Enforcement	1,523.80	
City Fuel	18,145.00	
Expense Accounts	812,082.52	
Administrative Expenses	-	
Litigation	35,437.04	
Liability Insurance	-	
Professional Dues	-	
Bond Funded CAP Proj		579,407.44
Tourist & Convention		22,366.54
Debt Service		-
Utility Fund		255,615.19
Sanitation Fund		318,489.96
Payroll Fund		346,904.93
DOCKET TOTAL		3,668,168.64

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
0010		GENERAL FUND							
0010	500700								
038320	HALEY ALLISON	8-30-23	0	2023	12 INV A	RECREATIONAL FEES	55.00	C-091923	CHEER REFUND
						ACCOUNT TOTAL	55.00		
		ORG 0010			TOTAL		55.00		
120		FOREVER YOUNG				SENIOR SERVICES			
120	622100					PROFESSIONAL FEES			
004489	JOHNSON CINDY	260-23	0	2023	12 INV A		585.00	C-091923	INSTRUCTOR
013370	CAIN, MARY	8-2023	0	2023	12 INV A		240.00	C-091923	LINE DANCE
017200	SMITH JOYCE W	7-23	0	2023	12 INV A		150.00	C-091923	YOGA
021019	CAIN LINDA A	828-23	0	2023	12 INV A		60.00	C-091923	LINE DANCE
021019	CAIN LINDA A	942-23	0	2023	12 INV A		60.00	C-091923	INSTRUCTOR
							120.00		
021615	4IMPRINT, INC	11587086	0	2023	12 INV A		641.12	C-091923	BADGE HOLDER & CLIP
028876	BURCH DEBORA	8-23	0	2023	12 INV A		360.00	C-091923	YOGA
029120	YOUNG LEASING CO	INV6392783	0	2023	12 INV A		217.75	C-091923	COPY CONTRACT @ FOR
034218	SMITH DEBORAH E	81123	0	2023	12 INV A		120.00	C-091923	INSTRUCTOR
						ACCOUNT TOTAL	2,433.87		
		ORG 120			TOTAL		2,433.87		
125		COURT DEPARTMENT				COURT BOND REFUND			
125	621500								
038327	MGINNIS STEPHANIE E	9-6-23	0	2023	12 INV A		250.00	C-091923	BASH BOND REFUND
038328	BATES TYRONE CEDERIC	9-6-23	0	2023	12 INV A		176.00	C-091923	CASH BOND REFUND
038332	BROWN KAMEAL DIAMOND	9-5-23	0	2023	12 INV A		115.00	C-091923	CASH BOND REFUND
038334	WATTERS TERRICETA	9-5-23	0	2023	12 INV A		47.00	C-091923	CASH BOND REFUND
038335	LAZO D ERIKA	8-30-23	0	2023	12 INV A		400.00	C-091923	CASH BOND REFUND
038336	WESLEY KYLAN CHRIS	8-30-23	0	2023	12 INV A		200.00	C-091923	CASH BOND REFUND
038337	FOFANA ALPHA BA	8-31-23	0	2023	12 INV A		350.00	C-091923	CASH BOND REFUND
038347	HP ATTORNEY'S PLLC	9-7-23	0	2023	12 INV A		133.00	C-091923	CASH BON REFUND-JUL
038348	JIMENEZ ANDRES	9-7-23	0	2023	12 INV A		500.00	C-091923	CASH BOND REFUND

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
					ACCOUNT TOTAL	2,171.00			
125	621501			COURT FINES					
000955	STATE TREASURER	9-1-23	0	2023	12 INV A	304,046.25	C-091923	MONTHLY STATE ASSES	
000962	CRIME STOPPERS	9-1-23	0	2023	12 INV A	4,592.30	C-091923	MONTHLY CRIME STOPP	
000963	DEPT OF PUBLIC SAFET	9-01-23	0	2023	12 INV A	18,368.38	C-091923	MONTHLY I.W.R.C.P A	
000963	DEPT OF PUBLIC SAFET	9-1-23	0	2023	12 INV A	3,004.44	C-091923	MONTHLY IGNITION IN	
						21,372.82			
029524	MISSISSIPPI FORENSIC	9-1-23	0	2023	12 INV A	600.00	C-091923	MONTHLY CRIME LAB A	
036201	ATTORNEY GENERAL'S	9-1-23	0	2023	12 INV A	909.98	C-091923	MONTHLY HUMAN TRAFF	
					ACCOUNT TOTAL	331,521.35			
125	621505			COURT SUPPLIES					
000403	LAWRENCE PRINTING CO 77060		0	2023	12 INV A	1,241.74	C-091923	UNIFORM TRAFFIC TIC	
000585	BETTER MARKETING KON 209371		0	2023	12 INV A	378.00	C-091923	TICKET LABELS	
006885	STEGALL NOTARY SERVI 90123		0	2023	12 INV A	178.00	C-091923	JAIME MEASE NOTARY	
007600	ODP BUSINESS	326263490001	0	2023	12 INV A	89.06	C-091923	TONER	
007600	ODP BUSINESS	328156636001	0	2023	12 INV A	6.99	C-091923	STAMP INK	
007600	ODP BUSINESS	328305116001	0	2023	12 INV A	111.96	C-091923	COURT STAMPS	
						208.01			
007823	AMERICAN PAPER & TWI 4726642		0	2023	12 INV A	90.90	C-091923	TOILET PAPER JANITO	
007823	AMERICAN PAPER & TWI 4735923		0	2023	12 INV A	568.00	C-091923	COPIER PAPER	
						658.90			
019545	TRANSUNION RISK & AL 2620-202308-1		0	2023	12 INV A	175.00	C-091923	TLO FEES 080123-083	
022719	UMB CARD SERVICES	9-25-23-0009	0	2023	12 INV A	895.16	C-091923	UMB-0009- STMT 09/0	
029120	YOUNG LEASING CO	INV6491220	0	2023	12 INV A	62.30	C-091923	COURTROOM COPIERS	
029120	YOUNG LEASING CO	INV6503167	0	2023	12 INV A	266.74	C-091923	COURT OFFICE COPIER	
						329.04			
					ACCOUNT TOTAL	4,063.85			
125	622100			PROFESSIONAL SERVICES					
021430	HOLLOWELL WAYNE	9-6-2023	0	2023	12 INV A	200.00	C-091923	SPECIAL JUDVGE-SEPT	
029556	PATEL HITEN H	9-6-23	0	2023	12 INV A	200.00	C-091923	SPECIAL PROSECUTOR-	

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12											
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION			
		ACCOUNT TOTAL				400.00					
		ORG 125	TOTAL				338,156.20				
150	INFORMATION TECHNOLOGY										
150	610500	COMPUTERS									
001091	BLUFF CITY ELECTRONI	ME940931-01	0	2023	12	INV	A	21.10	C-091923	FIBER CABLES	
007508	GREAT AMERICAN HOME	1538938	0	2023	12	INV	A	3,748.94	C-091923	OFFICE FURNITURE IT	
007508	GREAT AMERICAN HOME	1539310	0	2023	12	INV	A	2,099.96	C-091923	KITCHEN IT BLDG	
								5,848.90			
019694	MID-SOUTH TELECOM	78319	0	2023	12	INV	A	190.00	C-091923	PD EXT TRANSFER REP	
019694	MID-SOUTH TELECOM	78328	0	2023	12	INV	A	169.00	C-091923	UTILITIES DOOR SENS	
								359.00			
020449	FINAL TOUCH SECURITY	81272	0	2023	12	INV	A	360.00	C-091923	ANNUAL ALARM MONITO	
023852	SECURITY EQUIPMENT S	W30879	0	2023	12	INV	A	1,203.82	C-091923	2 DOOR CONTROLLERS	
		ACCOUNT TOTAL						7,792.82			
150	610550	NETWORK CONNECTIVITY									
007817	PROTECH SYSTEMS	SVC59524	0	2023	12	INV	A	2,257.00	C-091923	DISASTER RECOVERY B	
		ACCOUNT TOTAL						2,257.00			
150	625700	TELEPHONE/POSTAGE									
019694	MID-SOUTH TELECOM	78184	0	2023	12	INV	A	190.00	C-091923	FOREVER YOUNG PHONE	
		ACCOUNT TOTAL						190.00			
		ORG 150	TOTAL				10,239.82				
155	CITY CLERK										
155	610400	OFFICE SUPPLIES									
020731	TYLER BUSINESS FORMS	85351	0	2023	12	INV	A	944.82	C-091923	C-FOLD BLANK CHECK	
022719	UMB CARD SERVICES	9-25-23-0009	0	2023	12	INV	A	149.65	C-091923	UMB-0009- STMT 09/0	
		ACCOUNT TOTAL						1,094.47			
155	622100	PROFESSIONAL SERVICES									
029120	YOUNG LEASING CO	INV6512282	0	2023	12	INV	A	242.35	C-091923	AAA110313	
		ACCOUNT TOTAL						242.35			
155	625700	TELEPHONE & POSTAGE									
000971	PITNEY BOWES GLOBAL	9-13-23	0	2023	12	INV	A	1,500.00	C-091923	CITY CLERKS OFFICE	

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
					ACCOUNT TOTAL		1,500.00		
155	626100			ADVERTISING					
001185	DESOTO TIMES-TRIBUNE	300154351	0	2023	12 INV A	135.00	C-091923	ORDINANCE AMENDMENT	
001185	DESOTO TIMES-TRIBUNE	300154374	0	2023	12 INV A	385.60	C-091923	TAX NOTICE	
001185	DESOTO TIMES-TRIBUNE	300154402	0	2023	12 INV A	14.50	C-091923	PLANNING APPLICATIO	
						535.10			
					ACCOUNT TOTAL		535.10		
155	626900			TRAVEL & TRAINING					
029089	FERGUSON ALICIA	7-20-23	0	2023	12 INV A	153.00	C-091923	PER DIEM-CERRIFIED	
037298	EAVES ALYSSA	7-20-23	0	2023	12 INV A	153.00	C-091923	CERTIFIED MUNICIPAL	
					ACCOUNT TOTAL		306.00		
					ORG 155	TOTAL	3,677.92		
160					FACILITIES				
160	610400			OFFICE SUPPLIES					
030629	AMAZON CAPITAL	1DJCRJTK94KW	0	2023	12 INV A	381.86	C-091923	RECPT PD CHAIR	
					ACCOUNT TOTAL		381.86		
160	611000			MATERIALS					
000457	GRAINGER	9823615159	0	2023	12 INV A	618.77	C-091923	BATTERIES/FLOW SWIT	
001104	SHERWIN WILLIAMS	SOU 9713	0	2023	12 INV A	8.99	C-091923		
028212	UNITED REFRIGERATION	92056870	0	2023	12 INV A	432.48	C-091923	HVAC MATERIALS	
028212	UNITED REFRIGERATION	92079171	0	2023	12 INV A	12.40	C-091923	ROUND MOTOR RUN CAP	
028212	UNITED REFRIGERATION	92091713	0	2023	12 INV A	14.62	C-091923	HVAC MATERIALS	
028212	UNITED REFRIGERATION	92127392	0	2023	12 INV A	9.12	C-091923	HVAC MATERIALS	
028212	UNITED REFRIGERATION	92150447	0	2023	12 INV A	20.81	C-091923	HVAC MATERIALS	
028212	UNITED REFRIGERATION	92208825	0	2023	12 INV A	29.13	C-091923	HVAC MATERIALS	
028212	UNITED REFRIGERATION	92235913	0	2023	12 INV A	159.28	C-091923	HVAC MATERIALS	
028212	UNITED REFRIGERATION	92300168	0	2023	12 INV A	38.40	C-091923	HVAC MATERIALS	
028212	UNITED REFRIGERATION	92314859	0	2023	12 INV A	421.88	C-091923	HVAC MATERIALS	
028212	UNITED REFRIGERATION	92376985	0	2023	12 INV A	159.36	C-091923	HVAC MATERIALS	
						1,297.48			
					ACCOUNT TOTAL		1,925.24		
					ORG 160	TOTAL	2,307.10		
180					PLANNING / ENGINEERING DEPT				
180	610400			OFFICE SUPPLIES					
006685	DEX IMAGING	AR9969067	0	2023	12 INV A	9.71	C-091923	CANON IRC250	

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET G-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION		
				ACCOUNT TOTAL		9.71			
180 611300				MOTOR VEH REPAIRS/MAINT					
018472 M2MANAGEMENT SOLUTIO	172	0	2023 12	INV A	131.70	C-091923	FLEET TRACKING SYST		
029563 LANDERS FORD SOUTH	153366	0	2023 12	INV A	2,291.48	C-091923	VEHICLE REPAIRS		
				ACCOUNT TOTAL		2,423.18			
180 622100				PROFESSIONAL FEES					
018221 CIVIL-LINK, LLC	80426	0	2023 12	INV A	2,821.95	C-091923	TCHULAHOMA SITE DIS		
018221 CIVIL-LINK, LLC	80435	0	2023 12	INV A	15,000.00	C-091923	MUNICIPAL STAFFING		
				ACCOUNT TOTAL		17,821.95			
		ORG 180		TOTAL	20,254.84				
211				POLICE DEPARTMENT					
211 611000				MATERIALS					
000334 ULINE INC	167780327	0	2023 12	INV A	494.51	C-091923	GLOVES		
001102 SOUTHAVEN SUPPLY	193161	0	2023 12	INV A	48.17	C-091923	RANGE SUPPLIES		
001102 SOUTHAVEN SUPPLY	196946	0	2023 12	INV A	2.99	C-091923	RANGE SUPPLIES		
				ACCOUNT TOTAL		51.16			
				ACCOUNT TOTAL		545.67			
211 611300				MAINTENANCE VEHICLES					
000543 COMSERV SERVICES	732006130	0	2023 12	INV A	1,032.95	C-091923	3215 REPAIRS		
000543 COMSERV SERVICES	732006189-1	0	2023 12	INV A	125.00	C-091923	SIREN KNOB		
000543 COMSERV SERVICES	732006190-1	0	2023 12	INV A	346.95	C-091923	3172 REPAIRS		
				ACCOUNT TOTAL		1,504.90			
000883 AMERICAN TIRE REPAIR	163456	0	2023 12	INV A	2,108.32	C-091923	16 TIRES		
000883 AMERICAN TIRE REPAIR	167427	0	2023 12	INV A	41.00	C-091923	1 TIRE		
				ACCOUNT TOTAL		2,149.32			
001102 SOUTHAVEN SUPPLY	197215	0	2023 12	INV A	11.14	C-091923	KEYS FOR NEW/USED T		
001114 UNION AUTO PARTS	2667566	0	2023 12	INV A	614.49	C-091923	SHOP PARTS		
001114 UNION AUTO PARTS	2667829	0	2023 12	CRM A	-75.00	C-091923	CORE RETURN		
001114 UNION AUTO PARTS	2668581	0	2023 12	INV A	337.34	C-091923	SHOP PARTS		
001114 UNION AUTO PARTS	2668794	0	2023 12	INV A	73.97	C-091923	SHOP PARTS		
001114 UNION AUTO PARTS	2669434	0	2023 12	INV A	6.99	C-091923	3144 FILTER		
001114 UNION AUTO PARTS	2669563	0	2023 12	CRM A	-471.08	C-091923	CREDIT FAN		
001114 UNION AUTO PARTS	2671557	0	2023 12	INV A	207.40	C-091923	3195 IGNITION		

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
001114 UNION AUTO PARTS	2672009	0	2023 12	INV	A	148.87	C-091923	3047 BATTERY	
001114 UNION AUTO PARTS	2672171	0	2023 12	INV	A	42.70	C-091923	3195 BRAKES	
001114 UNION AUTO PARTS	2672198	0	2023 12	INV	A	26.18	C-091923	SHOP PARTS	
001114 UNION AUTO PARTS	2672224	0	2023 12	INV	A	219.58	C-091923	SHOP PARTS	
001114 UNION AUTO PARTS	2672744	0	2023 12	INV	A	749.75	C-091923	3025 PARTS	
001114 UNION AUTO PARTS	2672958	0	2023 12	CRM	A	-99.75	C-091923	CREDIT CORE	
						1,781.44			
001150 NAPA GENUINE PARTS C	864861	0	2023 12	INV	A	393.51	C-091923	3182 PARTS	
001320 MARTIN MACHINE WORKS	1666	0	2023 12	INV	A	825.00	C-091923	AC INSTALL SWAT VAN	
005407 NORTH MS. TWO-WAY CO	49323	0	2023 12	INV	A	3,483.75	C-091923	3264 INSTALL	
007304 O'REILLYS AUTO PARTS	1257-249362	0	2023 12	INV	A	6.12	C-091923	FILTER	
007304 O'REILLYS AUTO PARTS	1257-250624	0	2023 12	INV	A	18.99	C-091923	ECRASH	
007304 O'REILLYS AUTO PARTS	1257-250625	0	2023 12	INV	A	17.96	C-091923	ECRASH PARTS	
007304 O'REILLYS AUTO PARTS	1257-251676	0	2023 12	INV	A	3.48	C-091923	SHOP PARTS	
007304 O'REILLYS AUTO PARTS	6399-166307	0	2023 12	CRM	A	-40.00	C-091923	CREDIT CORE RETURN	
007304 O'REILLYS AUTO PARTS	6399-169265	0	2023 12	INV	A	50.37	C-091923	FAN CLUTCH	
007304 O'REILLYS AUTO PARTS	6399-169680	0	2023 12	INV	A	103.88	C-091923	AIR TANK	
						160.80			
019700 CHOICE TOWING	79877	0	2023 12	INV	A	50.00	C-091923	2004 INFINITI	
019700 CHOICE TOWING	79878	0	2023 12	INV	A	50.00	C-091923	2008 ESCAPE	
019700 CHOICE TOWING	79879	0	2023 12	INV	A	50.00	C-091923	2015 TAHOE	
019700 CHOICE TOWING	79985	0	2023 12	INV	A	50.00	C-091923	3122 TOW	
019700 CHOICE TOWING	80020	0	2023 12	INV	A	85.00	C-091923	3230 TOW	
019700 CHOICE TOWING	80025	0	2023 12	INV	A	50.00	C-091923	2016 CHARGER	
019700 CHOICE TOWING	80026	0	2023 12	INV	A	50.00	C-091923	2016 MERCEDES	
019700 CHOICE TOWING	80027	0	2023 12	INV	A	50.00	C-091923	2013 INFINITI	
019700 CHOICE TOWING	80028	0	2023 12	INV	A	50.00	C-091923	2014 MUSTANG	
019700 CHOICE TOWING	80029	0	2023 12	INV	A	50.00	C-091923	2021 CAMRY	
019700 CHOICE TOWING	80043	0	2023 12	INV	A	50.00	C-091923	3233 TOW	
						585.00			
022516 PERSONNEL EVALUATION	48886	0	2023 12	INV	A	200.00	C-091923	8 EVALS	
027347 AMERICAN TOWING	1525	0	2023 12	INV	A	200.00	C-091923	TRAILER TOW	
029563 LANDERS FORD SOUTH	234048	0	2023 12	INV	A	522.87	C-091923	3163 PARTS	
029563 LANDERS FORD SOUTH	234189	0	2023 12	INV	A	743.33	C-091923	PARTS	
029563 LANDERS FORD SOUTH	234190	0	2023 12	INV	A	11.25	C-091923	PARTS	
						1,277.45			
030773 KARZON CAR CARE LLC	8425	0	2023 12	INV	A	2,279.84	C-091923	3163 REPAIRS	
030773 KARZON CAR CARE LLC	8444	0	2023 12	INV	A	1,601.72	C-091923	3137 REPAIRS	
030773 KARZON CAR CARE LLC	8544	0	2023 12	INV	A	108.43	C-091923	3137 OIL PRESSURE	

CITY OF SOUTHAVEN



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YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION		
									3,989.99
032616 TC AUTO SALES	9062023	0	2023 12	INV A	960.00	C-091923	REPAIRS		
034982 ROSS MOTOR COMPANY I	108508	0	2023 12	INV A	1,035.30	C-091923	SHOP PARTS		
035666 MILLENNIUM PAINT & B	5F588F8	0	2023 12	INV A	2,796.94	C-091923	3254 REPAIRS		
037606 STATION 51 GRAPHICS	477075	0	2023 12	INV A	2,200.00	C-091923	3264 DECALS		
037630 COOK HOLDINGS INC	14792414	0	2023 12	INV A	1,565.25	C-091923	2018 SILVERADO		
				ACCOUNT TOTAL					25,119.79
211 612200				MAINTENANCE EQUIPMENT & BUILD					
019694 MID-SOUTH TELECOM	78318	0	2023 12	INV A	2,648.95	C-091923	INTERVIEW ROOM		
037608 FRONTIER CONTRACTING	1560	0	2023 12	INV A	1,247.74	C-091923	HQ FENCE ADDITIONS		
				ACCOUNT TOTAL					3,896.69
211 612500				UNIFORMS					
020832 EMERGENCY EQUIPMENT	486310	0	2023 12	INV A	24.00	C-091923	VAUGHAN NEW HIRE		
020832 EMERGENCY EQUIPMENT	486311	0	2023 12	INV A	24.00	C-091923	NALLICK NEW HIRE		
020832 EMERGENCY EQUIPMENT	486443	0	2023 12	INV A	395.00	C-091923	GEESLIN NEW HIRE		
020832 EMERGENCY EQUIPMENT	486444	0	2023 12	INV A	821.00	C-091923	REESE NEW HIRE		
020832 EMERGENCY EQUIPMENT	486445	0	2023 12	INV A	850.00	C-091923	PITTS NEW HIRE		
020832 EMERGENCY EQUIPMENT	486492	0	2023 12	INV A	1,112.00	C-091923	CANADAY NEW HIRE		
									3,226.00
				ACCOUNT TOTAL					3,226.00
211 622100				PROFESSIONAL SERVICES					
000597 SIRCHIE ACQUISITION	608293-IN	0	2023 12	INV A	851.39	C-091923	ISU SUPPLIES		
000597 SIRCHIE ACQUISITION	608444-IN	0	2023 12	INV A	2,075.00	C-091923	ISU SUPPLIES		
									2,926.39
001136 NWCC-SENATOBIA	9-06-2023	0	2023 12	INV A	50.00	C-091923	5 AHA CARDS		
002653 MS ASSOCIATION OF CH	9-12-2023	0	2023 12	INV A	50.00	C-091923	VICKERS 2023 DUES		
002653 MS ASSOCIATION OF CH	91223	0	2023 12	INV A	50.00	C-091923	SCALLORN 2023 DUES		
									100.00
020449 FINAL TOUCH SECURITY	81076	0	2023 12	INV A	360.00	C-091923	EVIDENCE ROOM		
029120 YOUNG LEASING CO	INV6514355	0	2023 12	INV A	378.00	C-091923	AAA65005-WEST		
029120 YOUNG LEASING CO	INV6514356	0	2023 12	INV A	252.34	C-091923	AAA61322- ADMEN HAL		
029120 YOUNG LEASING CO	INV6514357	0	2023 12	INV A	169.59	C-091923	AAA61328-EVIDENCE H		

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
								799.93
034860	FORENSIC POLYGRAPH S 2023-168	0	2023 12	INV A	200.00	C-091923	1 POLY	
				ACCOUNT TOTAL	4,436.32			
211	626900			TRAVEL & TRAINING				
006589	MS DELTA COMMUNITY C FALL2023	0	2023 12	INV A	4,000.00	C-091923	TUITION-MAYO	
009591	TRI FIRMA 6561	0	2023 12	INV A	5,993.50	C-091923	DIRT WORK & RANGE	
				ACCOUNT TOTAL	9,993.50			
211	630400			MACHINERY & EQUIPMENT				
000949	INTEGRATED COMMUNICA 160464	0	2023 12	INV A	125.00	C-091923	RADIO REPAIR	
001102	SOUTHAVEN SUPPLY 196365	0	2023 12	INV A	14.97	C-091923	RANGE SUPPLIES	
001102	SOUTHAVEN SUPPLY 196977	0	2023 12	INV A	68.72	C-091923	ECITE SUPPLIES	
					83.69			
001320	MARTIN MACHINE WORKS 1670	0	2023 12	INV A	695.00	C-091923	FUN LOCKING DEVICES	
022719	UMB CARD SERVICES 9-25-23-0009	0	2023 12	INV A	1,218.00	C-091923	UMB-0009- STMT 09/0	
031072	BULLFROG CORNER PAWN 204512	0	2023 12	INV A	15.00	C-091923	RANGE EQUIP	
031072	BULLFROG CORNER PAWN 204513	0	2023 12	INV A	70.00	C-091923	RANGE EQUIP	
					85.00			
				ACCOUNT TOTAL	2,206.69			
211	661800			CONFISCATED FUNDS-LOCAL				
030629	AMAZON CAPITAL 11JD-RY9M-F6	0	2023 12	INV A	3,575.76	C-091923	22 RIFLE CASE	
038324	LANDSCAPE SERVICES G 52804	23000360	2023 12	INV A	16,832.90	C-091923	IRRIGATION SYSTEM F	
				ACCOUNT TOTAL	20,408.66			
				ORG 211 TOTAL	69,833.32			
215				EMERGENCY SERVICES				
215	610400			OFFICE SUPPLIES				
007600	ODP BUSINESS 328765645001	0	2023 12	INV A	137.36	C-091923	PAPERTOWEL, TOILET	
030629	AMAZON CAPITAL 1RPYT4CCXLF	0	2023 12	INV A	36.19	C-091923	CLEANING SUPPLIES	
				ACCOUNT TOTAL	173.55			
215	622100			PROFESSIONAL FEES				
002564	LANGUAGE LINE SERVIC 11087114	0	2023 12	INV A	192.03	C-091923	LANG LINE USAGE	

CITY OF SOUTHAVEN



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YEAR/PERIOD: 2022/4 TO 2023/12		ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
					ACCOUNT TOTAL			192.03
215	626900				TRAVEL & TRAINING			
	027440	NORTHWEST MS COMMUN	8-25-2023	0	2023 12 INV A			140.00 C-091923 CPR RECERT/CERT X14
	028719	DISPATCHING AND TRAI	6538	0	2023 12 INV A			900.00 C-091923 TRAINING CLASSES
	038392	SMITH DECARLOS	9-11-23	0	2023 12 INV A			364.63 C-091923 STATE ORIENTATION C
	038393	DODSON KELLY	9-11-23	0	2023 12 INV A			364.63 C-091923 STATE ORIENTATION C
					ACCOUNT TOTAL			1,769.26
					ORG 215 TOTAL			2,134.84
FIRE DEPARTMENT								
290	610100				CLEANING SUPPLIES			
	007823	AMERICAN PAPER & TWI	4726474	0	2023 12 INV A			52.45 C-091923 DOVE BODY WASH- FIR
					ACCOUNT TOTAL			52.45
290	610400				OFFICE SUPPLIES			
	019739	STAPLES ADVANTAGE	3546505408	0	2023 12 INV A			271.75 C-091923 OFFICE SUPPLIES FOR
					ACCOUNT TOTAL			271.75
290	611000				MATERIALS			
	013650	BATTERIES PLUS	P65597753	0	2023 12 INV A			101.55 C-091923 BATTERIES FOR AED'S
	013650	BATTERIES PLUS	P65615389	0	2023 12 INV A			83.20 C-091923 BATTERIES FOR AED'S
								184.75
	020832	EMERGENCY EQUIPMENT	486140	0	2023 12 INV A			134.70 C-091923 BATTERIES FOR FLASH
					ACCOUNT TOTAL			319.45
290	611300				MAINTENANCE VEHICLES			
	000223	CROW'S TRUCK SERVICE	R10102955201	0	2023 12 INV A			1,571.42 C-091923 REPAIRS TO ENG 1 FL
	000543	COMSERV SERVICES	732005837	0	2023 12 INV A			178.45 C-091923 RANGE RUNNING BOARD
	000883	AMERICAN TIRE REPAIR	167663	0	2023 12 INV A			30.00 C-091923 FLAT REPAIR BATTALI
	007304	O'REILLYS AUTO PARTS	1791-229672	0	2023 12 INV A			83.96 C-091923 4 GAL ANTIFREZ
	007304	O'REILLYS AUTO PARTS	1791-229728	0	2023 12 INV A			64.55 C-091923 3)GAL ANITFREZ 2) H
	007304	O'REILLYS AUTO PARTS	1791-230646	0	2023 12 INV A			51.98 C-091923 1 GAL. MOTOR OIL AN
								200.49
	020832	EMERGENCY EQUIPMENT	486251	0	2023 12 INV A			2,132.55 C-091923 REPAIRS TO ENG 9 FL

CITY OF SOUTHAVEN



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YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
038343	SIDDONS-MARTIN EMERG 324SIV0001550	0	2023 12	INV A	264.69	C-091923	ENCASED WIPER/SPEED	
ACCOUNT TOTAL					4,377.60			
290	612200		MAINTENANCE EQUIPMENT & BUILD					
000128	AMERICAN PETROLEUM 263565	0	2023 12	INV A	192.50	C-091923	REPLACED BATTERIES	
007304	O'REILLYS AUTO PARTS 1257-251644	0	2023 12	INV A	16.41	C-091923	BELT FOR FAN OUT IN	
010865	RELIABLE EQUIPMENT CT119795	0	2023 12	INV A	359.98	C-091923	STRUT ASSEMBLY & PI	
028881	CATES MAINTENANCE CO 75171JM	0	2023 12	INV A	269.40	C-091923	REPAIRS TO DRYER @	
ACCOUNT TOTAL					838.29			
290	622100		PROFESSIONAL SERVICES					
018472	M2MANAGEMENT SOLUTIO 172	0	2023 12	INV A	724.35	C-091923	FLEET TRACKING SYST	
ACCOUNT TOTAL					724.35			
290	626900		TRAVEL & TRAINING					
000958	MS STATE FIRE ACADEM 31127	0	2023 12	INV A	500.00	C-091923	FF I & II	
000958	MS STATE FIRE ACADEM 31155	0	2023 12	INV A	125.00	C-091923	FIRE SERV CHAPLAIN/	
000958	MS STATE FIRE ACADEM 31175	0	2023 12	INV A	640.00	C-091923	FIRE INVEST - R TAY	
000958	MS STATE FIRE ACADEM 31197	0	2023 12	INV A	260.00	C-091923	HAZ-MAT INCIDENT CO	
000958	MS STATE FIRE ACADEM 31213	0	2023 12	INV A	730.00	C-091923	ROPE RESCUE AWARENE	
000958	MS STATE FIRE ACADEM 31257	0	2023 12	INV A	830.00	C-091923	FIRE SERVICE MANAGE	
000958	MS STATE FIRE ACADEM 31272	0	2023 12	INV A	1,200.00	C-091923	FIRE SERVICES INSTR	
					4,285.00			
009579	DEVORE DOUG 9-10-23	0	2023 12	INV A	145.00	C-091923	HMIC AT MS FIRE ACA	
013449	SPROUSE RALIEGH 3-7-23	0	2023 12	INV A	276.00	C-091923	ALABAMA FIRE COLLEG	
022907	COTTEN JESSIE 3-7-23	0	2023 12	INV A	276.00	C-091923	ALABAMA FIRE COLLEG	
ACCOUNT TOTAL					4,982.00			
290	630400		MACHINERY & EQUIPMENT					
000701	SUNBELT FIRE INC 3726	0	2023 12	INV A	4,183.00	C-091923	ORDER FY22/ PO FY22	
000701	SUNBELT FIRE INC 4024	0	2023 12	INV A	918.00	C-091923	ORDERED FY22/ PO FY	
					5,101.00			
030629	AMAZON CAPITAL 134WFXCDDR7	0	2023 12	INV A	31.98	C-091923	FUEL NOZZLES	
ACCOUNT TOTAL					5,132.98			
ORG 290 TOTAL					16,698.87			

FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
297								EMS	
297	610701							MEDICAL SUPPLIES	
000567	DESOTO COUNTY BOARD	9-8-2023	0	2023	12	INV	A	788.40 C-091923	MEDICAL SUPPLIES
000582	BOUND TREE MEDICAL	85076845	0	2023	12	INV	A	1,404.39 C-091923	MEDICAL SUPPLIES
000582	BOUND TREE MEDICAL	85085384	0	2023	12	INV	A	342.35 C-091923	MEDICAL SUPPLIES
								1,746.74	
001147	NEXAIR LLC	11251342	0	2023	12	INV	A	77.53 C-091923	MEDICAL SUPPLIES OX
001147	NEXAIR LLC	11281196	0	2023	12	INV	A	409.74 C-091923	MEDICAL SUPPLIES OX
001147	NEXAIR LLC	11303497	0	2023	12	INV	A	131.99 C-091923	MEDICAL SUPPLIES OX
001147	NEXAIR LLC	11314269	0	2023	12	INV	A	104.46 C-091923	MEDICAL SUPPLIES OX
								723.72	
015430	ZOLL MEDICAL CORPORA	3806435	0	2023	12	INV	A	895.72 C-091923	MEDICAL SUPPLIES
015430	ZOLL MEDICAL CORPORA	3807074	0	2023	12	INV	A	2,136.20 C-091923	MEDICAL SUPPLIES
								3,031.92	
016050	HENRY SCHEIN INC	53502515	0	2023	12	INV	A	3,286.45 C-091923	MEDICAL SUPPLIES
021908	STRYKER	9204509778	0	2023	12	INV	A	592.28 C-091923	BOLSTER MATTRESS
027573	TELEFLEX MEDICAL INC	9507409233	0	2023	12	INV	A	1,215.50 C-091923	MEDICAL SUPPLIES
027573	TELEFLEX MEDICAL INC	9507438349	0	2023	12	INV	A	562.50 C-091923	MEDICAL SUPPLIES
								1,778.00	
038321	V3 HEALTHCARE CORPOR	41	0	2023	12	INV	A	150.00 C-091923	MEDICAL SUPPLIES
								ACCOUNT TOTAL	12,097.51
297	611300							MOTOR VEH REPAIRS/MAINT	
000189	HOMER SKELTON FORD	6167950	0	2023	12	INV	A	314.42 C-091923	OIL/FILTER CHANGE U
000189	HOMER SKELTON FORD	6168140	0	2023	12	INV	A	310.26 C-091923	OIL/FILTER CHANGE U
								624.68	
000883	AMERICAN TIRE REPAIR	167665	0	2023	12	INV	A	370.10 C-091923	2 NEW TIRES MOUNT/D
007304	O'REILLYS AUTO PARTS	1257-251039	0	2023	12	INV	A	35.14 C-091923	HEAD LIGHT UNIT 1 F
019700	CHOICE TOWING	79958	0	2023	12	INV	A	125.00 C-091923	TOWING OF UNIT 1 FL
								ACCOUNT TOTAL	1,154.92
297	620901							BILLING SERVICES	
007934	HUMANA	3798	0	2023	12	INV	A	110.44 C-091923	EMS BILLING REFUNDS
007934	HUMANA	420	0	2023	12	INV	A	89.59 C-091923	EMS BILLING REFUNDS

CITY OF SOUTHAVEN



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YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
									200.03
018772 MEDICAL ACCOUNTS REC	112041-IN	0	2023 12	INV	A	11,825.69	C-091923	MEDICAL BILLING FOR	
029547 NOVITAS SOLUTIONS	18291	0	2023 12	INV	A	346.48	C-091923	EMS BILLING REFUNDS	
029547 NOVITAS SOLUTIONS	18797	0	2023 12	INV	A	258.06	C-091923	REFUNDS FOR JULY EM	
029547 NOVITAS SOLUTIONS	43	0	2023 12	INV	A	337.00	C-091923	EMS BILLING REFUNDS	
									941.54
030631 HUMANA	13657	0	2023 12	INV	A	372.54	C-091923	EMS BILLING REFUNDS	
037976 KNIGHT SHARON	202200108598	0	2023 12	INV	A	200.00	C-091923	EMS BILLING REFUNDS	
038325 HAWK DEBBIE	94377	0	2023 12	INV	A	10.00	C-091923	EMS BILLING REFUNDS	
038326 JONES AMANDA	46700	0	2023 12	INV	A	577.80	C-091923	EMS BILLING REFUNDS	
038329 WILLIAMS CYNTHIA	36713	0	2023 12	INV	A	25.66	C-091923	EMS BILLING REFUNDS	
038331 WARD YVONNE	52634	0	2023 12	INV	A	98.87	C-091923	EMS BILLING REFUNDS	
						ACCOUNT TOTAL			14,252.13
297 626900						TRAVEL & TRAINING			
037288 HERRMAN ANDREW	8-31-2023	0	2023 12	INV	A	187.00	C-091923	LIABILITY INSU/DRUG	
037517 BERRYHILL ASHTON	952023	0	2023 12	INV	A	144.00	C-091923	EMT LIC/NREMT LIC E	
						ACCOUNT TOTAL			331.00
297 630600						VEHICLES			
006706 LANDERS DODGE	LD189034	23000346	2023 12	INV	A	37,865.00	C-091923	2023 RAM 1500 PU S	
						ACCOUNT TOTAL			37,865.00
						ORG 297 TOTAL			65,700.56
311						PUBLIC WORKS DEPARTMENT			
311 610400						OFFICE SUPPLIES			
014117 MADISON SIGNS LLC	16827	0	2023 12	INV	A	185.00	C-091923	ENVELOPES	
						ACCOUNT TOTAL			185.00
311 611000						MATERIALS			
000541 TRI COUNTY FARM SERV	1-906125	0	2023 12	INV	A	2,625.00	C-091923	MAT.	
000759 LEHMAN ROBERTS CO	93933	0	2023 12	INV	A	373.50	C-091923	MAT	
000759 LEHMAN ROBERTS CO	93968	0	2023 12	INV	A	371.25	C-091923	MAT	
000759 LEHMAN ROBERTS CO	94004	0	2023 12	INV	A	378.75	C-091923	MAT	
000759 LEHMAN ROBERTS CO	94037	0	2023 12	INV	A	379.50	C-091923	MAT	

FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
000759 LEHMAN ROBERTS CO	94071	0	2023 12	INV A	166.50	C-091923	MAT	
000759 LEHMAN ROBERTS CO	94212	0	2023 12	INV A	377.25	C-091923	MAT	
000759 LEHMAN ROBERTS CO	94412	0	2023 12	INV A	387.00	C-091923	MAT.	
000759 LEHMAN ROBERTS CO	94468	0	2023 12	INV A	384.00	C-091923	MAT.	
					2,817.75			
001130 G & C SUPPLY CO	6918641	0	2023 12	INV A	560.45	C-091923	STREET SIGNS	
001130 G & C SUPPLY CO	6919677	0	2023 12	INV A	217.05	C-091923	STREET SIGNS	
001130 G & C SUPPLY CO	6919678	0	2023 12	INV A	170.00	C-091923	STREET SIGNS	
001130 G & C SUPPLY CO	6919679	0	2023 12	INV A	347.90	C-091923	STREET SIGNS	
001130 G & C SUPPLY CO	6920712	0	2023 12	INV A	6,096.50	C-091923	STREET SIGNS	
001130 G & C SUPPLY CO	6920716	0	2023 12	INV A	615.25	C-091923	STREET SIGNS	
					8,007.15			
001320 MARTIN MACHINE WORKS	1672	0	2023 12	INV A	2,025.00	C-091923	MAT.	
007823 AMERICAN PAPER & TWI	4712884	0	2023 12	INV A	90.90	C-091923	TOILET TISSUE	
035386 EZ DAZE RV PARK	D3073	0	2023 12	INV A	135.00	C-091923	PROPANE	
038247 BLADES GROUP LLC	18042245	0	2023 12	INV A	1,178.00	C-091923	MAT	
ACCOUNT TOTAL					16,878.80			
311 611300				MAINTENANCE VEHICLES				
000331 SCRUGGS EQUIPMENT CO	37776	0	2023 12	INV A	822.74	C-091923	MAT FOR SHOP	
000883 AMERICAN TIRE REPAIR	166355	0	2023 12	INV A	597.55	C-091923	MAT FOR SHOP	
000883 AMERICAN TIRE REPAIR	167606	0	2023 12	INV A	758.92	C-091923	MAT FOR SHOP	
000883 AMERICAN TIRE REPAIR	167624	0	2023 12	INV A	218.00	C-091923	TIRES	
					1,574.47			
000993 ADVANCE AUTO PARTS	666732263495	0	2023 12	INV A	228.00	C-091923	MAT FOR SHOP	
000993 ADVANCE AUTO PARTS	6667323548279	0	2023 12	INV A	399.95	C-091923	MAT FO	
000993 ADVANCE AUTO PARTS	6667323635700	0	2023 12	INV A	228.00	C-091923	MAT FOR SHOP	
000993 ADVANCE AUTO PARTS	667322634951	0	2023 12	CRM A	-426.69	C-091923	CREDIT MAT FOR SHOP	
					429.26			
000997 TRUCK PRO	17-0887473	0	2023 12	INV A	185.65	C-091923	MAT FOR SHOP	
001088 NORTHERN TOOL & EQUI	5561393509	0	2023 12	INV A	404.93	C-091923	MAT FOR SHOP	
001101 SNAPPY WINDSHIELD	CSPD-107	0	2023 12	INV A	438.70	C-091923	MAT FOR SHOP	
001102 SOUTHAVEN SUPPLY	195901	0	2023 12	INV A	1,353.04	C-091923	MAT FOR SHOP	
001114 UNION AUTO PARTS	2655537	0	2023 12	INV A	171.24	C-091923	MAT FO	
001114 UNION AUTO PARTS	2665023-00	0	2023 12	INV A	103.50	C-091923	MAT FOR SHOP	

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YEAR/PERIOD: 2022/4 TO 2023/12											
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION			
						274.74					
004246 HARBOR FREIGHT TOOLS	1023728	0	2023 12	INV	A	225.96	C-091923	MAT FOR SHOP			
004246 HARBOR FREIGHT TOOLS	409439	0	2023 12	CRM	A	-127.99	C-091923	MAT FOR SHOP			
004246 HARBOR FREIGHT TOOLS	841803	0	2023 12	INV	A	225.96	C-091923	MAT FOR SHOP			
						323.93					
006479 AIRGAS USA INC	5502028232	0	2023 12	INV	A	62.73	C-091923	MAT FOR SHOP			
006479 AIRGAS USA INC	9140735044	0	2023 12	INV	A	268.38	C-091923	MAT FOR SHOP			
006479 AIRGAS USA INC	9140918726	0	2023 12	INV	A	510.19	C-091923	MAT FOR SHOP			
006479 AIRGAS USA INC	9141057560	0	2023 12	INV	A	67.08	C-091923	MAT FOR SHOP			
						908.38					
006706 LANDERS DODGE	409624	0	2023 12	INV	A	246.00	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	1257-217295	0	2023 12	INV	A	10.99	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	6399-142156	0	2023 12	INV	A	49.98	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	6399-166203	0	2023 12	INV	A	65.42	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	6399-166435	0	2023 12	INV	A	124.82	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	6399-166622	0	2023 12	INV	A	101.33	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	6399-167135	0	2023 12	INV	A	5.93	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	6399-167192	0	2023 12	INV	A	68.31	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	6399-167329	0	2023 12	INV	A	17.82	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	6399-168316	0	2023 12	INV	A	14.69	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	6399-168552	0	2023 12	INV	A	4.99	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	6399-168630	0	2023 12	INV	A	50.39	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	6399-168750	0	2023 12	INV	A	80.10	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	6399-169115	0	2023 12	CRM	A	-10.00	C-091923	CREDIT- MAT FOR SHO			
007304 O'REILLYS AUTO PARTS	6399-170599	0	2023 12	INV	A	55.02	C-091923	MAT FOR SHOP			
007304 O'REILLYS AUTO PARTS	6399-170673	0	2023 12	INV	A	13.71	C-091923	MAT FOR SHOP			
						653.50					
008561 S & H SMALL ENGINES	83193	0	2023 12	INV	A	64.57	C-091923	MAT FOR SHOP			
008561 S & H SMALL ENGINES	83235	0	2023 12	INV	A	20.00	C-091923	MAT FOR SHOP			
008561 S & H SMALL ENGINES	83868	0	2023 12	INV	A	206.95	C-091923	MAT FOR SHOP			
						291.52					
010865 RELIABLE EQUIPMENT	CT119197	0	2023 12	INV	A	1,169.97	C-091923	MAT FOR SHOP			
010865 RELIABLE EQUIPMENT	CT119315	0	2023 12	INV	A	214.92	C-091923	MAT FOR SHOP			
010865 RELIABLE EQUIPMENT	CT119603	0	2023 12	INV	A	214.92	C-091923	MAT FOR SHOP			
010865 RELIABLE EQUIPMENT	CT119737	0	2023 12	INV	A	299.99	C-091923	MAT FOR SHOP			
						1,899.80					
015391 MID-SOUTH AG EQUIPME	P36065	0	2023 12	INV	A	399.91	C-091923	MAT FOR SHOP			
016582 CONTRACTORS SUPPLY P	138196	0	2023 12	INV	A	852.50	C-091923	MAT FOR SHOP			

CITY OF SOUTHAVEN



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YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
025659 WADE INCORPORATED	P33978	0	2023 12	INV A	82.44	C-091923	MAT FOR SHOP	
029220 TAG TRUCK CENTER	R60018889002	0	2023 12	INV A	2,302.27	C-091923	MAT FOR SHOP	
029563 LANDERS FORD SOUTH	234549	0	2023 12	INV A	3,768.56	C-091923	MAT FOR SHOP	
036067 KASHMIR MALONE	D20244	0	2023 12	INV A	200.00	C-091923	MAT FOR SHOP	
ACCOUNT TOTAL					17,412.34			
311 612200			MAINTENANCE EQUIPMENT & BUILD					
000669 CAMPER CITY USA INC	462697	0	2023 12	INV A	373.00	C-091923	MAT EQUIPMENT FOR P	
000669 CAMPER CITY USA INC	464873	0	2023 12	INV A	369.00	C-091923	MAT EQUIPMENT FOR P	
					742.00			
014714 INTEGRATED WIRELES	24165	0	2023 12	INV A	556.40	C-091923	MATERIALS/EQUIPMENT	
018472 M2MANAGEMENT SOLUTIO 172		0	2023 12	INV A	87.80	C-091923	FLEET TRACKING SYST	
018472 M2MANAGEMENT SOLUTIO 176		0	2023 12	INV A	1,712.10	C-091923	FLEET TRACKING SYST	
					1,799.90			
029120 YOUNG LEASING CO	INV6501773	0	2023 12	INV A	217.55	C-091923	COPIER SERVICE FOR	
ACCOUNT TOTAL					3,315.85			
311 612500			UNIFDRMS					
013377 CINTAS	4155074429	0	2023 12	INV A	465.49	C-091923	UNIFORMS	
013377 CINTAS	4157134617	0	2023 12	INV A	465.49	C-091923	UNIFORMS	
013377 CINTAS	4164125587	0	2023 12	INV A	430.17	C-091923	UNIFORMS	
013377 CINTAS	4164854425	0	2023 12	INV A	430.17	C-091923	UNIFORMS	
013377 CINTAS	4165550999	0	2023 12	INV A	643.45	C-091923	UNIFORMS	
013377 CINTAS	4166298491	0	2023 12	INV A	411.14	C-091923	UNIFORMS	
013377 CINTAS	4166881446	0	2023 12	INV A	410.52	C-091923	UNIFORMS	
013377 CINTAS	9225161430	0	2023 12	INV A	135.32	C-091923	UNIFORMS	
					3,391.75			
ACCOUNT TOTAL					3,391.75			
ORG 311 TOTAL					41,183.74			
315			CITY TRAFFIC AND STREETS LIGHT					
315 612200			MAINTENANCE EQUIPMENT & BUILD					
000497 DESOTO COUNTY ELECTR	8297	0	2023 12	INV A	240.00	C-091923	SIGNAL REPAIR	
004389 TEMPLE INC	INV0233147	0	2023 12	INV A	588.00	C-091923	TRAFFIC SIGNALS	
ACCOUNT TOTAL					828.00			

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ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION			
		ORG 315	TOTAL		828.00						
411	PARKS DEPARTMENT										
411	610400	OFFICE SUPPLIES									
029120	YOUNG LEASING CO	INV6501774	0	2023	12	INV	A	53.66	C-091923	COPY CONTRACT @ PIN	
029120	YOUNG LEASING CO	INV6501775	0	2023	12	INV	A	190.18	C-091923	COPY CONTRACT @ FOR	
								243.84			
ACCOUNT TOTAL								243.84			
411	612200	MAINTENANCE EQUIPMENT & BUILD									
000826	JERRY PATE TURF & IR	464870	0	2023	12	INV	A	290.15	C-091923	SPRINKLER HEAD, PIPE	
001102	SOUTHAVEN SUPPLY	196684	0	2023	12	INV	A	999.80	C-091923	HARDWARE	
001150	NAPA GENUINE PARTS C	416070	0	2023	12	INV	A	12.30	C-091923	SEAL	
001150	NAPA GENUINE PARTS C	416077	0	2023	12	INV	A	7.97	C-091923	BRAKE FLUID	
001150	NAPA GENUINE PARTS C	416245	0	2023	12	INV	A	125.12	C-091923	BATTERY	
001150	NAPA GENUINE PARTS C	416320	0	2023	12	INV	A	18.87	C-091923	V BELT	
001150	NAPA GENUINE PARTS C	416397	0	2023	12	INV	A	40.47	C-091923	SHOP TOOLS & SUPPLI	
001150	NAPA GENUINE PARTS C	416444	0	2023	12	INV	A	274.31	C-091923	BREAKS FOR TRUCK	
001150	NAPA GENUINE PARTS C	417038	0	2023	12	INV	A	30.96	C-091923	SPARK PLUGS	
001150	NAPA GENUINE PARTS C	695-416030	0	2023	12	INV	A	313.99	C-091923	BREAKS & ROTOR	
001150	NAPA GENUINE PARTS C	695-416338	0	2023	12	INV	A	503.45	C-091923	BREAKS FOR TRUCK	
001150	NAPA GENUINE PARTS C	695-416963	0	2023	12	INV	A	84.62	C-091923	AIR FILTERS	
								1,412.06			
002768	KEELING IRRIGATION	S4391066	0	2023	12	INV	A	222.21	C-091923	200PSI VALVE & HAND	
002951	STATELINE TURF & TRA	332971	0	2023	12	INV	A	30.07	C-091923	V-BELT	
002951	STATELINE TURF & TRA	339303	0	2023	12	INV	A	57.51	C-091923	IGNITION SWITCH	
002951	STATELINE TURF & TRA	347768	0	2023	12	INV	A	248.27	C-091923	WHEEL & BEARING BLA	
002951	STATELINE TURF & TRA	348391	0	2023	12	INV	A	334.95	C-091923	WHEEL & TIRE	
002951	STATELINE TURF & TRA	350914	0	2023	12	INV	A	35.99	C-091923	CABLE THROTTLE	
								706.79			
004246	HARBOR FREIGHT TOOLS	2847145	0	2023	12	INV	A	93.97	C-091923	SOCKET SET, SECURIT	
009578	GATEWAY TIRE & SERVI	157675	0	2023	12	INV	A	171.25	C-091923	TIRE FOR MOWER	
009578	GATEWAY TIRE & SERVI	160557	0	2023	12	INV	A	217.25	C-091923	TIRE FOR MOWER	
009578	GATEWAY TIRE & SERVI	160665	0	2023	12	INV	A	183.44	C-091923	TIRE FOR TRAILER	
								571.94			
013377	CINTAS	4166087640	0	2023	12	INV	A	140.70	C-091923	TOWELS AND MATS	
013377	CINTAS	4166088596	0	2023	12	INV	A	85.19	C-091923	TOWELS, MATS AIR FR	
013377	CINTAS	4166297058	0	2023	12	INV	A	70.45	C-091923	MATS	
013377	CINTAS	4166671042	0	2023	12	INV	A	155.20	C-091923	MATS	
013377	CINTAS	4166671589	0	2023	12	INV	A	109.64	C-091923	TDWELS, MATS, AIR F	

CITY OF SOUTHAVEN



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ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
013377 CINTAS	4166879522	0	2023 12	INV	A	90.70	C-091923	MATS
						651.88		
020449 FINAL TOUCH SECURITY	80939	0	2023 12	INV	A	360.00	C-091923	ANNUAL SECURITY SYS
						ACCOUNT TOTAL		5,308.80
411 612201								PARK MAINTENANCE
000334 ULINE INC	168172653	0	2023 12	INV	A	760.88	C-091923	LANDSCAPING POLY SH
000734 MAGNOLIA ELECTRIC	378028	0	2023 12	INV	A	149.52	C-091923	OVERLOAD
001056 BWI MEMPHIS	18001684	0	2023 12	INV	A	380.74	C-091923	FOAM MARKER CONCENT
001056 BWI MEMPHIS	18015720	0	2023 12	INV	A	669.00	C-091923	FUNGICIDE
						1,049.74		
004854 WEST MEMPHIS FENCE &	93324	0	2023 12	INV	A	3,346.00	C-091923	FENCE INSTALL CENTR
007823 AMERICAN PAPER & TWI	4731840	0	2023 12	INV	A	261.96	C-091923	JANITORIAL
007823 AMERICAN PAPER & TWI	4734555	0	2023 12	INV	A	101.22	C-091923	JANITORIAL
						363.18		
019230 WASTE PRO-MEMPHIS	1054236	0	2023 12	INV	A	1,273.00	C-091923	TRASH @ SNOWDEN LAN
019230 WASTE PRO-MEMPHIS	1054292	0	2023 12	INV	A	2,754.64	C-091923	TRASH @ SUNSET LOOP
019230 WASTE PRO-MEMPHIS	1054381	0	2023 12	INV	A	390.50	C-091923	TRASH @ HWY 51 N
						4,418.14		
024249 SITEONE LANDSCAPE SU	133938215	0	2023 12	INV	A	589.91	C-091923	PESTICIDE SPRAY
024249 SITEONE LANDSCAPE SU	134028543-001	23000353	2023 12	INV	A	7,750.00	C-091923	BARRICADE HERBICIDE
						8,339.91		
029763 GREAT SOUTHERN RECRE	812017	23000278	2023 12	INV	A	22,097.00	C-091923	REPAIR AND REPLACME
						ACCOUNT TOTAL		40,524.37
411 612300								MUNICIPAL GOLF COURSE EXPENSE
006738 CALLAWAY GOLF	937003501	0	2023 12	INV	A	454.62	C-091923	GOLF GLOVE & HAT
006738 CALLAWAY GOLF	937011207	0	2023 12	INV	A	3,250.00	C-091923	GOLF BALLS- RANGE
006738 CALLAWAY GOLF	937027601	0	2023 12	INV	A	333.96	C-091923	GOLF BALLS
						4,038.58		
023607 P & W GOLF SUPPLY LL	INV117925	0	2023 12	INV	A	190.28	C-091923	REPLACEMENT BLADE R
023607 P & W GOLF SUPPLY LL	INV117942	0	2023 12	INV	A	423.70	C-091923	REPLACEMENT BLADE
						613.98		

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ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION			
ACCOUNT TOTAL						4,652.56					
411 613100								BALL EQUIPMENT			
029521 SIMPLOT	227028404		23000357	2023 12	INV A	14,500.00	C-091923	DENSICOR FUNGICIDE			
ACCOUNT TOTAL						14,500.00					
411 622100								PROFESSIONAL SERVICES			
000642 HOTEL & RESTAURANT	3191052	0		2023 12	INV A	42,822.00	C-091923	COMM EQUIP REV AUCT			
001540 MURPHY & SONS, INC.	4160	0		2023 12	INV A	6,013.74	C-091923	REPAIR TO DAMAGED C			
001540 MURPHY & SONS, INC.	PAYAPP15	0		2023 12	INV A	92,913.68	C-091923	PAYAPP15- AMP			
						98,927.42					
015430 ZOLL MEDICAL CORPORA	3801907	0		2023 12	INV A	10,063.54	C-091923	AED'S AMP SOLE SOUR			
016517 UPCHURCH SERVICES, L	234206	0		2023 12	INV A	434.80	C-091923	AC REPAIRED @ AMP B			
020449 FINAL TOUCH SECURITY	80872	0		2023 12	INV A	4,212.55	C-091923	CAMERA INSTALL @ AM			
020449 FINAL TOUCH SECURITY	80873	0		2023 12	INV A	3,430.43	C-091923	CAMERA INSTALL @ AM			
						7,642.98					
022719 UMB CARD SERVICES	9-25-23-0009	0		2023 12	INV A	138.23	C-091923	UMB-0009- STMT 09/0			
025799 PROPUMP AND CONTROLS	IN002132		23000349	2023 12	INV A	9,571.00	C-091923	REPAIR TO IRRIGATIO			
035651 SUDDEN SERVICE INC	3064974	0		2023 12	INV A	2,752.00	C-091923	PECAN GROVE LIGHTIN			
ACCOUNT TOTAL						172,351.97					
411 627901								UMPIRES			
001043 BOSLEY JEFF	9-12-23	0		2023 12	INV A	80.00	C-091923	FALL SOFTBALL 9/12/			
001051 MALONE TERRY	9-12-2023	0		2023 12	INV A	50.00	C-091923	REC BASEBALL 9-12-2			
001051 MALONE TERRY	9-12-23	0		2023 12	INV A	82.50	C-091923	FALL SOFTBALL 9/12/			
						132.50					
002857 TURNER DALE	9-12-23	0		2023 12	INV A	90.00	C-091923	FALL SOFTBALL 9/12/			
011508 DOCKERY LAWRENCE	9523-91223	0		2023 12	INV A	230.00	C-091923	SPRING 2023 SOCCER			
015545 KLINCK ZACHARY A	9523-91223	0		2023 12	INV A	430.00	C-091923	SPRING 2023 SOCCER			
018757 CLAYTON DONNIE	9-12-2023	0		2023 12	INV A	65.00	C-091923	REC BASEBALL 9-12-2			
018757 CLAYTON DONNIE	9-12-23	0		2023 12	INV A	90.00	C-091923	FALL SOFTBALL 9/12/			
						155.00					
023087 WATSON LAWRENCE	9-12-2023	0		2023 12	INV A	65.00	C-091923	REC BASEBALL 9-12-2			

CITY OF SOUTHAVEN



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YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
023087 WATSON LAWRENCE	9-12-23	0	2023 12	INV	A	65.00 C-091923		FALL SOFTBALL 9/12/	
						130.00			
023182 CASHION JOHN H	9-12-2023	0	2023 12	INV	A	65.00 C-091923		REC BASEBALL 9-12-2	
023182 CASHION JOHN H	9-12-23	0	2023 12	INV	A	90.00 C-091923		FALL SOFTBALL 9/12/	
						155.00			
025315 GOODING BLAKE	9-12-23	0	2023 12	INV	A	90.00 C-091923		FALL SOFTBALL 9/12/	
028218 COX III DAVID ROYAL	9523-91223	0	2023 12	INV	A	185.00 C-091923		SPRING 2023 SOCCER	
029803 SOLOMON ADDILYN	9523-91223	0	2023 12	INV	A	300.00 C-091923		SPRING 2023 SOCCER	
035370 HUNT PAIGE ELIZABETH	9523-91223	0	2023 12	INV	A	60.00 C-091923		SPRING 2023 SOCCER	
035405 DELGADILLO ISABELLA	9523-91223	0	2023 12	INV	A	125.00 C-091923		SPRING 2023 SOCCER	
035457 SHELL WILLIAM	9-12-23	0	2023 12	INV	A	90.00 C-091923		FALL SOFTBALL 9/12/	
036078 BEAL BLAKE AUSTIN	9523-91223	0	2023 12	INV	A	150.00 C-091923		SOFTBALL 9/5-9/12/2	
036318 MAXEMCHUK ANGELO	9523-91223	0	2023 12	INV	A	80.00 C-091923		SPRING 2023 SOCCER	
036350 SIMPSON SPENSER	9523-91223	0	2023 12	INV	A	120.00 C-091923		SPRING 2023 SOCCER	
036353 MANJARREZ DESIREE	9523-91223	0	2023 12	INV	A	105.00 C-091923		SPRING 2023 SOCCER	
037179 TOW ZACHARY	9523-91223	0	2023 12	INV	A	135.00 C-091923		SPRING 2023 SOCCER	
037197 GRAHAM CANAAN	9523-91223	0	2023 12	INV	A	80.00 C-091923		SPRING 2023 SOCCER	
037222 HASSELL TITUS	9523-91223	0	2023 12	INV	A	40.00 C-091923		SPRING 2023 SOCCER	
037396 LEE JOSEPH ANGLIN	9-12-23	0	2023 12	INV	A	80.00 C-091923		FALL SOFTBALL 9/12/	
038315 TELLO-DELGADILLO MIR	9523-91223	0	2023 12	INV	A	120.00 C-091923		SPRING 2023 SOCCER	
038390 MCCARTER KAELEA	9523-91223	0	2023 12	INV	A	60.00 C-091923		SPRING 2023 SOCCER	
038391 HODGSON REID M	9523-91223	0	2023 12	INV	A	30.00 C-091923		SPRING 2023 SOCCER	
038394 ANGUIANO JULIAN	9523-91223	0	2023 12	INV	A	30.00 C-091923		SPRING 2023 SOCCER	
038395 FRANK LIAM	9523-91223	0	2023 12	INV	A	50.00 C-091923		SPRING 2023 SOCCER	
038396 GREEN TERRY	9523-91223	0	2023 12	INV	A	45.00 C-091923		SPRING 2023 SOCCER	
						ACCOUNT TOTAL			3,377.50
411	629300					INSURANCE-LIABILITY			

FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
022719 UMB CARD SERVICES	9-25-23-0009	0	2023 12	INV A	260.00	C-091923	UMB-0009- STMT 09/0	
ACCOUNT TOTAL					260.00			
ORG 411			TOTAL		241,219.04			
412			PARK TOURNAMENTS					
412	612400		RESELL / CONCESSION EXPENSE					
003011 M & M PROMOTIONS	100810	0	2023 12	INV A	722.80	C-091923	SHIRT RESALE	
003538 SYSCO CORPORATION	414232157	0	2023 12	INV A	218.38	C-091923	CONCESSION	
003538 SYSCO CORPORATION	414234867	0	2023 12	INV A	3,147.46	C-091923	CONCESSION	
003538 SYSCO CORPORATION	414235128	0	2023 12	INV A	307.19	C-091923	CONCESSION	
					3,673.03			
005075 CHICK-FIL-A	716-092923	0	2023 12	INV A	440.00	C-091923	CONCESSION	
015742 HOBART	35805815	0	2023 12	INV A	457.78	C-091923	REFRIGERATOR REPAIR	
024982 SMITTY'S SLICES LLC	22-JUL-23	0	2023 12	INV A	86.36	C-091923	TRANSACTION#1039247	
035925 KB ENTERPRISES	421846	0	2023 12	INV A	314.00	C-091923	CONCESSION	
035925 KB ENTERPRISES	891398	0	2023 12	INV A	1,484.50	C-091923	CONCESSION	
					1,798.50			
ACCOUNT TOTAL					7,178.47			
412	626102		PROMOTIONS					
001121 NEWTONS TROPHY	12116	0	2023 12	INV A	600.00	C-091923	AWARDS	
001121 NEWTONS TROPHY	12117	0	2023 12	INV A	198.00	C-091923	MEDALS	
					798.00			
007622 MIDSOUTH SPORTS PROD	749	0	2023 12	INV A	1,375.00	C-091923	PG FEES-SEASON OPEN	
022719 UMB CARD SERVICES	9-25-23-0009	0	2023 12	INV A	110.90	C-091923	UMB-0009- STMT 09/0	
031719 GOTO COMMUNICATIONS	IN7102249278	0	2023 12	INV A	28.20	C-091923	GREENBROOK PHONES	
034906 GLOBAL AWARDS, LLC	2455	0	2023 12	INV A	1,916.66	C-091923	TROPHIES, RINGS & A	
ACCOUNT TOTAL					4,228.76			
412	627901		TOURNAMENT UMPIRE FEES					
001019 CLARK, VICKI	9-12-23	0	2023 12	INV A	65.00	C-091923	FALL SOFTBALL 9/12/	
035271 GRAHAM STEPHEN	9523-91223	0	2023 12	INV A	125.00	C-091923	SPRING 2023 SOCCER	
ACCOUNT TOTAL					190.00			

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12		ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
				ORG 412	TOTAL			11,597.23
511	MUNICIPAL CODE ENFORCEMENT							
511	611000	MATERIALS						
	010919	TRACTOR SUPPLY CREDI	2096995241	0	2023 12 INV A	74.79	C-091923	MATERIALS
				ACCOUNT TOTAL			74.79	
511	612200	MAINTENANCE EQUIPMENT & BUILD						
	003342	POWER CLEANING EQUIP	55389	0	2023 12 INV A	172.00	C-091923	MAT BUILDING
				ACCOUNT TOTAL			172.00	
511	614900	FEED FOR ANIMALS						
	012713	HILL'S PET NUTRITION	246405236	0	2023 12 INV A	172.07	C-091923	FEED ANIMALS
	012713	HILL'S PET NUTRITION	246460713	0	2023 12 INV A	172.07	C-091923	FEED ANIMALS
	012713	HILL'S PET NUTRITION	246516023	0	2023 12 INV A	171.20	C-091923	FEED ANIMALS
	012713	HILL'S PET NUTRITION	246517454	0	2023 12 INV A	15.15	C-091923	FEED
						530.49		
				ACCOUNT TOTAL			530.49	
511	622100	PROFESSIONAL SERVICES						
	000801	STERICYCLE INC	4011985329	0	2023 12 INV A	746.52	C-091923	PROF SERV
				ACCOUNT TOTAL			746.52	
				ORG 511	TOTAL			1,523.80
901	CITY FUEL							
901	614000	FUEL & OIL						
	036077	DICKERSON PETROLEUM	INV-025355	23000350	2023 12 INV A	18,145.00	C-091923	GASOLINE ORDER
				ACCOUNT TOTAL			18,145.00	
				ORG 901	TOTAL			18,145.00
902	GENERAL EXPENSES							
902	620750	LANDSCAPE GROUNDS MANICURE ROW						
	028454	CHANDLERS LAWN SER	48431	0	2023 12 INV A	2,233.00	C-091923	LAWN MAINT
	028454	CHANDLERS LAWN SER	50044	0	2023 12 INV A	28,500.00	C-091923	LAWN MAINT
	028454	CHANDLERS LAWN SER	50238	0	2023 12 INV A	645.00	C-091923	LAWN MAINT
	028454	CHANDLERS LAWN SER	50239	0	2023 12 INV A	1,450.00	C-091923	LANDSCAPING/MOWING
						32,828.00		
				ACCOUNT TOTAL			32,828.00	
902	620902	FACILITIES MANAGEMENT						
	000469	TRI-STAR COMPANIES,	C23556.1	0	2023 12 INV A	3,625.00	C-091923	HVAC SERV

FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
000543 COMSERV SERVICES	80007229	0	2023 12	INV	A	3,693.75	C-091923	TORNADO SIREN MAINT
006685 DEX IMAGING	AR9969068	0	2023 12	INV	A	153.91	C-091923	MP8510 4TH FLOOR
019694 MID-SOUTH TELECOM	78183	0	2023 12	INV	A	1,578.35	C-091923	SOUTHAVEN PD GATE A
022719 UMB CARD SERVICES	9-25-23-0009	0	2023 12	INV	A	611.00	C-091923	UMB-0009- STMT 09/0
023618 EK AUTOMATION	SRVCE-9750	0	2023 12	INV	A	280.00	C-091923	HVAC AUTOMATION CON
028212 UNITED REFRIGERATION	92261548	0	2023 12	INV	A	46.69	C-091923	MATERIALS- HVAC
032120 FACILITIES PREFORMAN	FPG-SOUTHAVEN-0823	0	2023 12	INV	A	7,547.55	C-091923	JANITORIAL SERV
ACCOUNT TOTAL						17,536.25		
902 620903			FACILITIES RENO/PROJECTS					
000232 MATHESON & ASSOC LLC	23320	0	2023 12	INV	A	1,000.00	C-091923	REPLACE ALARM SYSTE
037608 FRONTIER CONTRACTING	1559	23000264	2023 12	INV	A	115,810.30	C-091923	SPD FENCE/GATE/OPER
ACCOUNT TOTAL						116,810.30		
902 625100			STREET RESURFACING					
000759 LEHMAN ROBERTS CO	21049-21	0	2023 12	INV	A	329,055.97	C-091923	PERIOD 5/21-6/20/20
018221 CIVIL-LINK, LLC	80429	0	2023 12	INV	A	33,575.28	C-091923	CITY PAVEMENT PRESE
ACCOUNT TOTAL						362,631.25		
902 625103			DRAINAGE MAINTENANCE					
009591 TRI FIRMA	6565	0	2023 12	INV	A	13,726.80	C-091923	DRAINAGE MAINT.
009591 TRI FIRMA	6567	0	2023 12	INV	A	20,425.09	C-091923	DRAINAGE MAINT.
						34,151.89		
ACCOUNT TOTAL						34,151.89		
902 625150			DRAINAGE IMPROVEMENT					
018221 CIVIL-LINK, LLC	80427	0	2023 12	INV	A	6,257.79	C-091923	LCNOI EROSION CONTR
018221 CIVIL-LINK, LLC	80430	0	2023 12	INV	A	4,104.32	C-091923	DRAINAGE IMPROVEMEN
018221 CIVIL-LINK, LLC	80433	0	2023 12	INV	A	893.71	C-091923	CARRIAGE HILLS DRAI
018221 CIVIL-LINK, LLC	80434	0	2023 12	INV	A	1,699.95	C-091923	AUTUMN WOODS DRAIN
						12,955.77		
ACCOUNT TOTAL						12,955.77		
902 625220			STREET MAINTENANCE					
009591 TRI FIRMA	6566	0	2023 12	INV	A	1,742.02	C-091923	STREET MAINT.
ACCOUNT TOTAL						1,742.02		

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YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION		
902 009591	625500 1002 TRI FIRMA	6561	0	CAPITAL IMPROVEMENTS 2023 12 INV A	200,000.00	C-091923	DIRT WORK & RANGE		
				ACCOUNT TOTAL	200,000.00				
902 000212	625520 FERRELL PAVING INC	PAYREQUEST1	0	SIGNALS 2023 12 INV A	26,113.60	C-091923	GREENBROOK/RASCO TR		
018221	CIVIL-LINK, LLC	80428	0	2023 12 INV A	2,638.49	C-091923	RASCO/GREENBROOK SI		
018221	CIVIL-LINK, LLC	80431	0	2023 12 INV A	1,817.25	C-091923	STATELINE/SWINNEA S		
018221	CIVIL-LINK, LLC	80432	0	2023 12 INV A	1,194.18	C-091923	TCHULAHOMA/CHURCH S		
					5,649.92				
				ACCOUNT TOTAL	31,763.52				
				ORG 902 TOTAL	810,419.00				
904 904	622100			LITIGATION					
017086	BUTLER SNOW	10393577	0	PROFESSIONAL SERVICES 2023 12 INV A	25,007.40	C-091923	GENERAL SERVICES TH		
017086	BUTLER SNOW	10393580	0	2023 12 INV A	6,727.00	C-091923	LEGACY CONTRACT TER		
					31,734.40				
038221	MAYO MALLETT PLLC	23552	0	2023 12 INV A	2,908.70	C-091923	TAX COLLECTOR MATTE		
				ACCOUNT TOTAL	34,643.10				
				ORG 904 TOTAL	34,643.10				
FUND 0010 GENERAL FUND					TOTAL:		1,691,051.25		

FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION		
711							BOND PROJECT EXPENSES		
711	640965						GETWELL ROAD SOUTH 18		
018221	CIVIL-LINK, LLC	80436	0	2023 12	INV A		37,751.17	C-091923	GETWELL WIDENING
							ACCOUNT TOTAL		37,751.17
			ORG 711	TOTAL					37,751.17
FUND 0100 BOND FUNDED CAP PROJ					TOTAL:				37,751.17

FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12							
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION	
611			SPECIAL ASSESSMENTS EXPEND				
611	623801		NEIGHBORHOOD PARKS				
018221 CIVIL-LINK, LLC	80445	0	2023 12 INV A	16,041.75	C-091923	NEIGHBORHOOD PARKS	
			ACCOUNT TOTAL	16,041.75			
611	623802		ARENA PARKING LOT				
018221 CIVIL-LINK, LLC	80444	0	2023 12 INV A	6,324.79	C-091923	MATERIAL TESTING AR	
			ACCOUNT TOTAL	6,324.79			
			ORG 611 TOTAL	22,366.54			
FUND 0240 TOURIST & CONVENTION				TOTAL:	22,366.54		

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION		
0400			UTILITY FUND					
0400	211400		FEEES OWED TO NESBIT WATER ASSC					
010365	NESBIT WATER	9-6-23	2023 12 INV A	3,096.00	C-091923	8/1-8/31 FEES COLLE		
			ACCOUNT TOTAL	3,096.00				
			ORG 0400 TOTAL	3,096.00				
811			UTILITY EXPENSE ACCOUNTS					
811	651400		DCRUA UPGRADE TAP FEES					
004646	DESOTO COUNTY REGION	9-11-23	2023 12 INV A	5,550.00	C-091923	COLLECTED SEWER FEE		
			ACCOUNT TOTAL	5,550.00				
811	651500		DCRUA TAP FEES					
004646	DESOTO COUNTY REGION	9-11-23	2023 12 INV A	12,500.00	C-091923	COLLECTED SEWER FEE		
			ACCOUNT TOTAL	12,500.00				
			ORG 811 TOTAL	18,050.00				
815			UTILITY CAPITAL IMPROVEMENTS					
815	625300		EXTENSION & OTHER IMPROVEMENTS					
018221	CIVIL-LINK, LLC	80438	2023 12 INV A	19,507.12	C-091923	WATER VAVLE OPER &		
018221	CIVIL-LINK, LLC	80440	2023 12 INV A	6,237.36	C-091923	UTILITY MAPPING & S		
018221	CIVIL-LINK, LLC	80443	2023 12 INV A	30,337.24	C-091923	MDOT, GOODMAN & IS5		
				56,081.72				
			ACCOUNT TOTAL	56,081.72				
815	625300 1550		FIRE EXTENSION PH III					
018221	CIVIL-LINK, LLC	80439	2023 12 INV A	18,014.39	C-091923	FIRE SERV EXT PHASE		
			ACCOUNT TOTAL	18,014.39				
815	625305		SANITARY SEWER EXTENSION					
018221	CIVIL-LINK, LLC	80437	2023 12 INV A	847.71	C-091923	SANITARY SEWER SERV		
			ACCOUNT TOTAL	847.71				
815	625310		CAPITAL IMPROVEMENTS					
022728	FENCING SOLUTIONS &	INV23-1233	2023 12 INV A	4,565.00	C-091923	FENCE REPAIRS AT DO		
			ACCOUNT TOTAL	4,565.00				
815	625310 1003		STARLANDING WATER SYS IM PH II					
007367	GUTTERMAN COMPANY,IN	23-60	2023 12 INV A	1,489.42	C-091923	GUTTER INSTALL @ ST		
009590	GAINES, WILLIAMS &	4815	2023 12 INV A	9,890.00	C-091923	SCADA FOR STARLANDI		

FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION		
018221 CIVIL-LINK, LLC	80441	0	2023 12	INV A	9,436.69	C-091923	STARLANDING TREATME		
				ACCOUNT TOTAL	20,816.11				
			ORG 815	TOTAL	100,324.93				
820				UTILITY ADMINISTRATIVE EXPENSE					
820	610400			OFFICE SUPPLIES					
007600 ODP BUSINESS	328881941001	0	2023 12	INV A	289.10	C-091923	PRINTER INK STORAGE		
				ACCOUNT TOTAL	289.10				
820	625700			TELEPHONE & POSTAGE					
017546 ARISTA	INVAIS0008200	0	2023 12	INV A	14,623.51	C-091923	PRINTINGS/POSTAGE W		
				ACCOUNT TOTAL	14,623.51				
820	626500			PRINTING					
006685 DEX IMAGING	AR9980107	0	2023 12	INV A	57.48	C-091923	MP212296 WATER DEPT		
017546 ARISTA	INVAIS0008200	0	2023 12	INV A	4,286.43	C-091923	PRINTINGS/POSTAGE W		
				ACCOUNT TOTAL	4,343.91				
820	626900			TRAVEL & TRAINING					
017658 HARDY TINA	9-8-23	0	2023 12	INV A	168.00	C-091923	BADGER METER CONF &		
034556 MOORE ANGELA M	9-8-23	0	2023 12	INV A	168.00	C-091923	PER DIEM BADGER MET		
				ACCOUNT TOTAL	336.00				
			ORG 820	TOTAL	19,592.52				
825				UTILITY MAINTENANCE EXPENSES					
825	611000			MATERIALS					
000354 METER SERVICE AND SU	31358	0	2023 12	INV A	738.20	C-091923	FIRE HYDRANT PARTS		
000354 METER SERVICE AND SU	31382	0	2023 12	INV A	3,882.55	C-091923	FIRE HYDRANT		
000354 METER SERVICE AND SU	31440	0	2023 12	INV A	187.60	C-091923	PVC PIPE		
000354 METER SERVICE AND SU	31454	0	2023 12	INV A	1,002.50	C-091923	METER BOXES & COUPL		
					5,810.85				
000457 GRAINGER	9829298125	0	2023 12	INV A	351.00	C-091923	MOTOR START CAPACIT		
000687 SOUTHERN PIPE & SUPP	703935931-1	0	2023 12	INV A	111.15	C-091923	METER BOXES		
000687 SOUTHERN PIPE & SUPP	8441718	0	2023 12	INV A	159.00	C-091923	METER BOXES WITH LI		
					270.15				
000979 SOUTHAVEN CAR CARE	44102	0	2023 12	INV A	70.72	C-091923	OIL FILTER & LUBE		
002869 VULCAN MATERIALS	51388858	0	2023 12	INV A	2,793.65	C-091923	LIMESTONE		

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
004246 HARBOR FREIGHT TOOLS	847049	0	2023 12	INV A	205.39	C-091923	STORAGE CASES	
007304 O'REILLYS AUTO PARTS	1257-216201	0	2023 12	INV A	17.99	C-091923	CONSOLE	
007304 O'REILLYS AUTO PARTS	1257-252538	0	2023 12	INV A	152.95	C-091923	BATTERY FOR BYPASS	
					170.94			
007766 CENTRAL PIPE SUPPLY, S100313700.001		23000042	2023 12	INV A	37,365.40	C-091923	CURBSTOPS, COUPLING	
007766 CENTRAL PIPE SUPPLY, S100345359.001		0	2023 12	INV A	4,992.68	C-091923	METERS	
					42,358.08			
011578 CORE & MAIN LP	T424639	0	2023 12	INV A	1,338.68	C-091923	COUPLINGS	
				ACCOUNT TOTAL	53,369.46			
825 611100				CHEMICALS				
001146 IDEAL CHEMICAL	284314	0	2023 12	INV A	3,962.85	C-091923	CHEMICALS FOR WHITW	
001146 IDEAL CHEMICAL	284315	0	2023 12	INV A	1,059.35	C-091923	CHEMICALS FOR GREEN	
					5,022.20			
				ACCOUNT TOTAL	5,022.20			
825 611300				MAINTENANCE VEHICLES				
000883 AMERICAN TIRE REPAIR	166403	0	2023 12	INV A	30.00	C-091923	TIRE REPAIR TRUCK #	
000883 AMERICAN TIRE REPAIR	166406	0	2023 12	INV A	30.00	C-091923	TIRE REPAIR TRUCK #	
000883 AMERICAN TIRE REPAIR	167596	0	2023 12	INV A	657.96	C-091923	TIRES FOR TRUCK #85	
					717.96			
				ACCOUNT TOTAL	717.96			
825 612500				UNIFORMS				
000424 A 2 Z ADVERTISING	67260	0	2023 12	INV A	418.94	C-091923	UNIFORM SHIRTS	
				ACCOUNT TDAL	418.94			
825 622100				PROFESSIONAL SERVICES				
018472 M2MANAGEMENT SOLUTIO	172	0	2023 12	INV A	768.25	C-091923	FLEET TRACKING SYST	
020449 FINAL TOUCH SECURITY	81159	0	2023 12	INV A	360.00	C-091923	MONITORING @ GETWEL	
020449 FINAL TOUCH SECURITY	81161	0	2023 12	INV A	360.00	C-091923	MONITORING @ COLLEG	
020449 FINAL TOUCH SECURITY	81271	0	2023 12	INV A	360.00	C-091923	MONITORING @ DDRCHE	
020449 FINAL TOUCH SECURITY	81323	0	2023 12	INV A	360.00	C-091923	MONITORING @ GREENB	
					1,440.00			
				ACCOUNT TOTAL	2,208.25			
825 624500				LICENSES & MISCELLANEOUS FEES				

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
	036443 IMGRAIL CONSULTING	GRYR-2210051052023	0	2023 12 INV A	630.00	C-091923	ANNUAL PERMIT FEE F
				ACCOUNT TOTAL	630.00		
			ORG 825	TOTAL	62,366.81		
FUND 0400 UTILITY FUND				TOTAL:	203,430.26		

FY2023 CLAIM DOCKET C-091923

YEAR/PERIOD: 2022/4 TO 2023/12							
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION	
850			MAINTENANCE EXPENSES				
850	622100		PROFESSIONAL SERVICES				
007500	SWEEPING CORPORATION SCA098125	0	2023 12 INV A	41,712.88	C-091923	SWEEPING SERVICE PE	
008127	WASTE CONNECTIONS OF 60100823001	0	2023 12 INV A	275,197.82	C-091923	PROFESSIONAL SERVIC	
			ACCOUNT TOTAL	316,910.70			
850	622107		RECYCLING SERVICES				
008127	WASTE CONNECTIONS OF 6952339w010	0	2023 12 INV A	1,367.72	C-091923	RECYCLING SERV	
			ACCOUNT TOTAL	1,367.72			
			ORG 850 TOTAL	318,278.42			
FUND 0450 SANITATION FUND			TOTAL:	318,278.42			

** END OF REPORT - Generated by Alicia Ferguson **

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION			
0010			GENERAL FUND						
0010	100150		GEN FUND NEW CASH DRAWER						
021382	PETTY CASH	8-30-23	2023 12 INV P	19.94	D-091923	209419	PETTY CASH 05/26-08		
			ACCOUNT TOTAL	19.94					
0010	420700		PERMITS-PLANNING						
038398	CHOATES HEATING & AI	9-8-23	2023 12 INV A	82.00	D-091923		OLIVE BRANCH ADDRES		
			ACCOUNT TOTAL	82.00					
			ORG 0010 TOTAL	101.94					
125			COURT DEPARTMENT						
125	621500		COURT BOND REFUND						
038333	RICHARDS ALONZO TEAN	9-8-23	2023 12 INV P	100.00	D-091923	209492	REISSUE FROM MAY 20		
			ACCOUNT TOTAL	100.00					
125	621505		COURT SUPPLIES						
001095	VERIZON WIRELESS	9943356530	2023 12 INV A	80.02	D-091923		9/1/23 ACCT 6421516		
007504	PAETEC	7595514	2023 12 INV A	105.30	D-091923		ACCT61147293 -09/10		
			ACCOUNT TOTAL	185.32					
			ORG 125 TOTAL	285.32					
145			DEPARTMENT OF FINANCE & ADMIN						
145	625700		TELEPHONE & POSTAGE						
001095	VERIZON WIRELESS	9943356530	2023 12 INV A	120.03	D-091923		9/1/23 ACCT 6421516		
			ACCOUNT TOTAL	120.03					
			ORG 145 TOTAL	120.03					
150			INFORMATION TECHNOLOGY						
150	610500		COMPUTERS						
026785	BEST BUY	7076363-S	2023 12 INV P	209.98	D-091923	209430	SHORT PAY ON INV		
026785	BEST BUY	7083407	2023 12 CRM P	-209.98	D-091923	209430	CREDIT RETURN		
026785	BEST BUY	7161704-1	2023 12 INV P	209.97	D-091923	209430	WEBCAMS FOR IT- REI		
026785	BEST BUY	718106	2023 12 INV P	34.99	D-091923	209430	SD CARD- IT REISSUE		
				244.96					
			ACCOUNT TOTAL	244.96					
150	610550		NETWORK CONNECTIVITY						
001095	VERIZON WIRELESS	9943356530	2023 12 INV A	160.06	D-091923		9/1/23 ACCT 6421516		
007504	PAETEC	7595514	2023 12 INV A	12,189.26	D-091923		ACCT61147293 -09/10		

FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION			
			ACCOUNT TOTAL			12,349.32			
150 614000			GASOLINE/OIL						
006919 FUELMAN	NP65030124	0	2023 12 INV P	216.12	D-091923	209409	IT FUEL		
006919 FUELMAN	NP65070621	0	2023 12 INV A	68.52	D-091923		IT FUEL		
						284.64			
			ACCOUNT TOTAL			284.64			
150 625700			TELEPHONE/POSTAGE						
001095 VERIZON WIRELESS	9943356530	0	2023 12 INV A	10.34	D-091923		9/1/23 ACCT 6421516		
			ACCOUNT TOTAL			10.34			
			ORG 150 TOTAL			12,889.26			
155			CITY CLERK						
155 614000			GASOLINE/OIL						
021382 PETTY CASH	8-30-23	0	2023 12 INV P	46.81	D-091923	209419	PETTY CASH 05/26-08		
			ACCOUNT TOTAL			46.81			
155 622100			PROFESSIONAL SERVICES						
015056 PANINI NORTH AMERICA	SI23-013979	0	2023 12 INV P	120.07	D-091923	208974	CHECK SCANNER ROLLE		
			ACCOUNT TOTAL			120.07			
155 625700			TELEPHONE & POSTAGE						
007504 PAETEC	7595514	0	2023 12 INV A	597.49	D-091923		ACCT61147293 -09/10		
			ACCOUNT TOTAL			597.49			
			ORG 155 TOTAL			764.37			
160			FACILITIES						
160 614000			FUEL & OIL						
021382 PETTY CASH	8-30-23	0	2023 12 INV P	35.00	D-091923	209419	PETTY CASH 05/26-08		
			ACCOUNT TOTAL			35.00			
			ORG 160 TOTAL			35.00			
180			PLANNING / ENGINEERING DEPT						
180 614000			GASOLINE/OIL						
021382 PETTY CASH	8-30-23	0	2023 12 INV P	67.30	D-091923	209419	PETTY CASH 05/26-08		
			ACCOUNT TOTAL			67.30			
180 622100			PROFESSIONAL FEES						
010920 DALE K. THOMPSON	9-7-23	0	2023 12 INV P	264.00	D-091923	209417	ENROLLMENT & LIEN R		

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION		
021382 PETTY CASH	8-30-23	0	2023 12 INV P	10.00 D-091923	209419	PETTY CASH 05/26-08		
			ACCOUNT TOTAL	274.00				
180 625700			TELEPHONE/POSTAGE					
001095 VERIZON WIRELESS	9943356530	0	2023 12 INV A	700.19 D-091923		9/1/23 ACCT 6421516		
			ACCOUNT TOTAL	700.19				
		ORG 180	TOTAL	1,041.49				
211			POLICE DEPARTMENT					
211 611300			MAINTENANCE VEHICLES					
021382 PETTY CASH	8-30-23	0	2023 12 INV P	92.25 D-091923	209419	PETTY CASH 05/26-08		
			ACCOUNT TOTAL	92.25				
211 612200			MAINTENANCE EQUIPMENT & BUILD					
001320 MARTIN MACHINE WORKS 1663		0	2023 12 INV P	4,151.00 D-091923	209479	STORAGE CONTAINER F		
			ACCOUNT TOTAL	4,151.00				
211 614000			FUEL & OIL					
006919 FUELMAN	NP64960614	0	2023 12 INV P	10,612.30 D-091923	208972	FUEL FOR SPD FLEET		
006919 FUELMAN	NP65029805	0	2023 12 INV A	3,602.19 D-091923		FUEL FOR SPD FLEET		
				14,214.49				
021382 PETTY CASH	8-30-23	0	2023 12 INV P	20.00 D-091923	209419	PETTY CASH 05/26-08		
			ACCOUNT TOTAL	14,234.49				
211 622100			PROFESSIONAL SERVICES					
030534 DATAFACTS	189464	0	2023 12 INV P	82.50 D-091923	209418	EMP BACKGROUND CHEC		
			ACCOUNT TOTAL	82.50				
211 625700			TELEPHONE & POSTAGE					
001095 VERIZON WIRELESS	9943356530	0	2023 12 INV A	5,766.56 D-091923		9/1/23 ACCT 6421516		
001137 FEDEX	8-247-05965	0	2023 12 INV A	25.90 D-091923		PROLOGIC		
001167 AT&T MOBILITY	7424-082723	0	2023 12 INV A	4,559.66 D-091923		287288007424-UTILIT		
007504 PAETEC	7595514	0	2023 12 INV A	198.48 D-091923		ACCT61147293 -09/10		
018521 SOUTHERN TELECDMMUNI	8-28-23	0	2023 12 INV P	592.28 D-091923	208963	6623934898- 08/28/2		
			ACCOUNT TOTAL	11,142.88				
211 626000			UTILITIES					
000966 ENTERGY	10017913351	0	2023 12 INV P	31.58 D-091923	208961	167750488-2719 BROO		

FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
000966	ENTERGY 485004179202	0	2023 12	INV P	31.88	D-091923	208961 167750496-7505 CHER	
					63.46			
001145	ATMOS ENERGY 4805-082323	0	2023 12	INV P	39.85	D-091923	208957 4029104805-7320 HIG	
	ACCOUNT TOTAL				103.31			
211	626900			TRAVEL & TRAINING				
000354	METER SERVICE AND SU 31204	0	2023 12	INV P	3,247.50	D-091923	209482 SPRINKLER WORK AT S	
027770	GLOBAL POLICE SOLUTI 9-6-23	0	2023 12	INV P	590.00	D-091923	209410 FIRST LINE SUPERVIS	
	ACCOUNT TDTAL				3,837.50			
211	630400			MACHINERY & EQUIPMENT				
013136	AT&T 662M1070460011878	0	2023 12	INV P	8,036.00	D-091923	208965 CAD & MOBILE RMS	
	ACCOUNT TOTAL				8,036.00			
	ORG 211 TOTAL				41,679.93			
215				EMERGENCY SERVICES				
215	600100			WAGES AND SALARIES				
035024	WAGES BRIAN 8-28-23	0	2023 12	INV P	260.17	D-091923	208964 MANUAL CHECK REQUES	
	ACCOUNT TOTAL				260.17			
215	622100			PROFESSIONAL FEES				
030534	DATAFACTS 189464	0	2023 12	INV P	21.50	D-091923	209418 EMP BACKGROUND CHEC	
	ACCOUNT TOTAL				21.50			
215	626900			TRAVEL & TRAINING				
036942	CANADY TERRY L. 9-12-23	0	2023 12	INV A	89.35	D-091923	HOTEL NOT FULLY COV	
038399	BYRD REBECCA 9-11-23	0	2023 12	INV A	138.00	D-091923	STATE ORIENTATION C	
038400	BARTON KAYLEE 9-11-23	0	2023 12	INV A	364.63	D-091923	STATE ORIENTATION S	
	ACCOUNT TOTAL				591.98			
	ORG 215 TOTAL				873.65			
290				FIRE DEPARTMENT				
290	600100			SALARIES-ADMINISTRATION				
038397	WALKER TABITHA M 9-06-23	0	2023 12	INV A	25.99	D-091923	MANUAL CHECK REQUES	
038397	WALKER TABITHA M 9-6-23	0	2023 12	INV A	29.59	D-091923	MANUAL CHECK REQUES	
					55.58			
	ACCOUNT TOTAL				55.58			

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION		
290 611000				MATERIALS					
021382 PETTY CASH	8-30-23	0	2023 12	INV P	42.07	D-091923	209419 PETTY CASH 05/26-08		
				ACCOUNT TOTAL	42.07				
290 614000				FUEL & OIL					
006919 FUELMAN	NP65029820	0	2023 12	INV P	124.93	D-091923	209454 FUEL		
006919 FUELMAN	NP65070317	0	2023 12	INV A	25.03	D-091923	FUEL		
					149.96				
				ACCOUNT TOTAL	149.96				
290 622100				PROFESSIONAL SERVICES					
030534 DATAFACTS	189464	0	2023 12	INV P	38.85	D-091923	209418 EMP BACKGROUND CHEC		
038330 BACK ON TRACK CHIROP	SFD09082023	0	2023 12	INV P	1,030.00	D-091923	209426 PRE-EMP SCREENING		
				ACCOUNT TOTAL	1,068.85				
290 625700				TELEPHONE & POSTAGE					
001095 VERIZON WIRELESS	9943356530	0	2023 12	INV A	972.09	D-091923	9/1/23 ACCT 6421516		
007504 PAETEC	7595514	0	2023 12	INV A	101.46	D-091923	ACCT61147293 -09/10		
				ACCOUNT TOTAL	1,073.55				
290 626000				UTILITIES					
000966 ENTERGY	15008212606	0	2023 12	INV A	1,861.05	D-091923	15374952-6050 ELMOR		
000966 ENTERGY	1950072278909	0	2023 12	INV A	2,212.85	D-091923	15021074-6450 GETWE		
000966 ENTERGY	95007485654	0	2023 12	INV A	3,118.45	D-091923	79401667-7980 SWINN		
					7,192.35				
001145 ATMOS ENERGY	1390-0823	0	2023 12	INV P	228.14	D-091923	209406 3020521390-6050 ELM		
001145 ATMOS ENERGY	4569-0823	0	2023 12	INV P	202.85	D-091923	209406 3020654569-6450 GET		
					430.99				
				ACCOUNT TOTAL	7,623.34				
			ORG 290	TOTAL	10,013.35				
311				PUBLIC WORKS DEPARTMENT					
311 611300				MAINTENANCE VEHICLES					
021382 PETTY CASH	8-30-23	0	2023 12	INV P	10.00	D-091923	209419 PETTY CASH 05/26-08		
				ACCOUNT TOTAL	10.00				
311 622100				PROFESSIONAL SERVICES					
030534 DATAFACTS	189464	0	2023 12	INV P	40.50	D-091923	209418 EMP BACKGROUND CHEC		

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
				ACCOUNT TOTAL				40.50	
311 625700				TELEPHONE & POSTAGE					
001095	VERIZON WIRELESS 9943356530	0	2023 12	INV	A	40.01	D-091923	9/1/23 ACCT 6421516	
001137	FEDEX 821046078	0	2023 12	INV	P	94.30	D-091923	208971 SHIPPING FROM KY TO	
007504	PAETEC 7595514	0	2023 12	INV	A	77.05	D-091923	ACCT61147293 -09/10	
				ACCOUNT TOTAL				211.36	
311 626000				UTILITIES					
000966	ENERGY 15008166224	0	2023 12	INV	P	2,533.37	D-091923	208968 16833121-5813 PEPPE	
000966	ENERGY 230005681497	0	2023 12	INV	P	42.63	D-091923	208961 158165845-2719 BROO	
								2,576.00	
				ACCOUNT TOTAL				2,576.00	
		ORG 311		TOTAL				2,837.86	
315	626000			CITY TRAFFIC AND STREETS LIGHT UTILITIES					
000966	ENERGY 115007342632	0	2023 12	INV	P	202.08	D-091923	208959 16832230-453 AIRPOR	
000966	ENERGY 115007342633	0	2023 12	INV	P	119.39	D-091923	208959 16834293-HIGHWAY 51	
000966	ENERGY 115007342634	0	2023 12	INV	P	24.25	D-091923	208962 16834756-SOUTH CIR	
000966	ENERGY 115007344502	0	2023 12	INV	P	247.38	D-091923	208959 42493999-8191 TULAN	
000966	ENERGY 120006199242	0	2023 12	INV	P	216.64	D-091923	208959 18054445-8777 WHITW	
000966	ENERGY 145007228511	0	2023 12	INV	P	42.74	D-091923	208970 16838005-4830 AIRWA	
000966	ENERGY 150006128806	0	2023 12	INV	P	124.53	D-091923	208968 17327354-SWINNEA RD	
000966	ENERGY 15008166225	0	2023 12	INV	P	43.80	D-091923	208961 16837783-3005 COLLE	
000966	ENERGY 15008168582	0	2023 12	INV	P	97.98	D-091923	208968 16713240-CHURCH RD	
000966	ENERGY 15008168583	0	2023 12	INV	P	80.70	D-091923	208969 16713968-CHURCH RD	
000966	ENERGY 160006112432	0	2023 12	INV	P	119.39	D-091923	208968 15556418-STATELINE	
000966	ENERGY 165007188083	0	2023 12	INV	P	45.45	D-091923	208970 50881416-4005 STATE	
000966	ENERGY 170006102955	0	2023 12	INV	P	11.88	D-091923	208970 98050180-5813 PEPPE	
000966	ENERGY 170006117721	0	2023 12	INV	A	41.31	D-091923	16835951-STATELINE	
000966	ENERGY 170006117722	0	2023 12	INV	A	98.42	D-091923	16839979-ST LINE RD	
000966	ENERGY 170006117723	0	2023 12	INV	A	22.34	D-091923	16850182-GREENBROOK	
000966	ENERGY 170006117724	0	2023 12	INV	A	11.71	D-091923	16850398-GREENBROOK	
000966	ENERGY 175007137414	0	2023 12	INV	P	49.66	D-091923	208970 124065178-AIRWAYS B	
000966	ENERGY 175007137415	0	2023 12	INV	P	55.70	D-091923	208969 124075086-AIRWAYS B	
000966	ENERGY 175007140884	0	2023 12	INV	P	60.39	D-091923	208969 90253295-8507 INVER	
000966	ENERGY 190006315658	0	2023 12	INV	P	58.71	D-091923	208960 150262913-CHERRY BL	
000966	ENERGY 200005473057	0	2023 12	INV	P	46.18	D-091923	208970 16853152-488 CHURCH	
000966	ENERGY 200005491503	0	2023 12	INV	A	155.77	D-091923	16330888-GOODMAN RD	
000966	ENERGY 2025694020	0	2023 12	INV	P	84,022.88	D-091923	208968 16836199-STREET LIG	
000966	ENERGY 210005592113	0	2023 12	INV	P	55.87	D-091923	208969 89417216-5577 GETWE	
000966	ENERGY 210005597145	0	2023 12	INV	P	118.84	D-091923	208959 110821964-ST LINE H	
000966	ENERGY 210005597146	0	2023 12	INV	P	93.37	D-091923	208960 110821972-STATELINE	
000966	ENERGY 210005597147	0	2023 12	INV	P	98.42	D-091923	208960 110821998-MISS VALL	

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12											
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION			
000966	ENTERGY	210005597148	0	2023	12	INV	P	94.24	D-091923	208960	110822038-RASCO RD
000966	ENTERGY	210005602181	0	2023	12	INV	P	11.31	D-091923	208962	89409965-ESTATES OF
000966	ENTERGY	245006484593	0	2023	12	INV	P	169.66	D-091923	208959	160129912-HIGHWAY 5
000966	ENTERGY	270005747182	0	2023	12	INV	P	527.20	D-091923	208959	15064967-ST LTS CIT
000966	ENTERGY	275006239103	0	2023	12	INV	P	50.10	D-091923	208960	68134634-NORTHWEST
000966	ENTERGY	275006239104	0	2023	12	INV	P	82.52	D-091923	208960	68135326-STATLINE R
000966	ENTERGY	280005742348	0	2023	12	INV	P	51.17	D-091923	208960	58522954-6875 AIRWA
000966	ENTERGY	285006116476	0	2023	12	INV	P	118.99	D-091923	208959	19075704-MS 302 & T
000966	ENTERGY	290005731327	0	2023	12	INV	P	94.91	D-091923	208969	161881305-699 RESEA
000966	ENTERGY	30008877019	0	2023	12	INV	P	439.02	D-091923	208959	55245484-8935 COMME
000966	ENTERGY	310004106595	0	2023	12	INV	P	62.63	D-091923	208960	79896114-984 STATEL
000966	ENTERGY	325005350375	0	2023	12	INV	P	50.56	D-091923	208960	149789885-MISSISSIP
000966	ENTERGY	340003994360	0	2023	12	INV	P	47.41	D-091923	208970	115078636-1989 STAT
000966	ENTERGY	345005199910	0	2023	12	INV	P	845.43	D-091923	208959	119287241-1855 FIRS
000966	ENTERGY	35007905233	0	2023	12	INV	P	87.83	D-091923	208969	176873271- WHITWORT
000966	ENTERGY	35007911060	0	2023	12	INV	P	27.79	D-091923	208961	15540321-367 RASCO
000966	ENTERGY	360003900508	0	2023	12	INV	P	43.18	D-091923	208961	50881309-1005 CHURC
000966	ENTERGY	360003900680	0	2023	12	INV	P	38.96	D-091923	208961	145700183-2996 COLL
000966	ENTERGY	360003905152	0	2023	12	INV	P	27.66	D-091923	208961	17624495-3005 STANT
000966	ENTERGY	375004970564	0	2023	12	INV	A	238.90	D-091923		110822012-STATELINE
000966	ENTERGY	380003893316	0	2023	12	INV	P	50.26	D-091923	208969	52730470-85 CHURCH
000966	ENTERGY	380003894189	0	2023	12	INV	P	82.61	D-091923	208969	16832941-5140 TCHUL
000966	ENTERGY	380003894190	0	2023	12	INV	P	139.36	D-091923	208968	16835019-T L MILLBR
000966	ENTERGY	380003894195	0	2023	12	INV	P	34.07	D-091923	208961	16850885-AIRWAYS AN
000966	ENTERGY	380003894970	0	2023	12	INV	P	41.84	D-091923	208970	19131200-8185 GETWE
000966	ENTERGY	380003903843	0	2023	12	INV	A	45.01	D-091923		129563102-426 STARL
000966	ENTERGY	385004888520	0	2023	12	INV	A	155.77	D-091923		19041425-GOODMAN &
000966	ENTERGY	400002887632	0	2023	12	INV	P	42.67	D-091923	208961	85056398-750 BROOKS
000966	ENTERGY	405004566275	0	2023	12	INV	P	56.61	D-091923	208960	108163825-6145 AIRW
000966	ENTERGY	410003045497	0	2023	12	INV	P	38.07	D-091923	208961	64945074-805 RASCO
000966	ENTERGY	430003167835	0	2023	12	INV	P	62.79	D-091923	208969	153800891-GOODMAN R
000966	ENTERGY	435004429928	0	2023	12	INV	P	43.04	D-091923	208970	19047497-951 RASCO
000966	ENTERGY	445004353285	0	2023	12	INV	P	46.18	D-091923	208960	91224535-992 CHURCH
000966	ENTERGY	450003228330	0	2023	12	INV	P	131.21	D-091923	208968	169321593-2810 MAY
000966	ENTERGY	460003219070	0	2023	12	INV	P	106.58	D-091923	208968	68387034-249 GOODMA
000966	ENTERGY	460003221570	0	2023	12	INV	P	30.86	D-091923	208970	180865792-STATELINE
000966	ENTERGY	500001686452	0	2023	12	INV	P	118.99	D-091923	208968	110822004-MS 302 @
000966	ENTERGY	560001496495	0	2023	12	INV	P	56.75	D-091923	208960	63799183-6715 HOSPI
000966	ENTERGY	560001496798	0	2023	12	INV	P	27.66	D-091923	208962	31166523-1200 BROOK
000966	ENTERGY	65007699588	0	2023	12	INV	P	64.45	D-091923	208969	176129674-7970 TCHU
000966	ENTERGY	70007788416	0	2023	12	INV	P	48.01	D-091923	208970	164909244-GETWELL &
000966	ENTERGY	70007794604	0	2023	12	INV	P	118.84	D-091923	208968	16293359-WHITWORTH
000966	ENTERGY	70007794632	0	2023	12	INV	P	26.29	D-091923	208962	16344749-SWEET FLAG
000966	ENTERGY	80007703420	0	2023	12	INV	P	51.93	D-091923	208969	59478867-6345 AIRWA
000966	ENTERGY	80007703421	0	2023	12	INV	P	87.90	D-091923	208969	59478941-6610 AIRWA
000966	ENTERGY	80007707455	0	2023	12	INV	P	75.74	D-091923	208969	16837528-STATELINE
000966	ENTERGY	80007707523	0	2023	12	INV	P	47.25	D-091923	208970	89417232- 6006 GETW
000966	ENTERGY	90007699783	0	2023	12	INV	P	130.70	D-091923	208968	147671986-SE CORNER
000966	ENTERGY	90007699784	0	2023	12	INV	P	127.69	D-091923	208968	147671994-GOODMAN A
								91,564.38			

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12											
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION			
001105	NORTHCENTRAL ELECTRI 7008-080423	0	2023 12	INV	P	5,624.51	D-091923	208973	59247008-STREET LIG		
001105	NORTHCENTRAL ELECTRI 7008-0823	0	2023 12	INV	A	5,624.51	D-091923		59247008-STREET LIG		
						11,249.02					
ACCOUNT TOTAL						102,813.40					
ORG 315 TOTAL						102,813.40					
411	PARKS DEPARTMENT										
411	622100	PROFESSIONAL SERVICES									
030534	DATAFACTS	189465	0	2023 12	INV	P	41.00	D-091923	209418	EMP BACKGROUND CHEC	
034374	TRUE MEDICAL TESTING	3798	0	2023 12	INV	P	225.00	D-091923	209420	DRUG SCREENING	
038322	COMCAST	179611590	0	2023 12	INV	P	239,359.89	D-091923	208967	WIFI INSTALL @AMP-B	
038322	COMCAST	179611860	0	2023 12	INV	P	2,142.44	D-091923	209407	FIBER @ AMP	
						241,502.33					
ACCOUNT TOTAL						241,768.33					
411	625700	TELEPHONE & POSTAGE									
001095	VERIZON WIRELESS	9943356530	0	2023 12	INV	A	480.12	D-091923		9/1/23 ACCT 6421516	
018521	SOUTHERN TELECOMMUNI	8-28-23	0	2023 12	INV	P	152.12	D-091923	208963	6623934898- 08/28/2	
ACCOUNT TOTAL						632.24					
411	626000	UTILITIES									
001105	NORTHCENTRAL ELECTRI	7015-082523	0	2023 12	INV	P	30.18	D-091923	208973	59247015-3656 PINE	
001105	NORTHCENTRAL ELECTRI	7016-082523	0	2023 12	INV	P	770.34	D-091923	208973	59247016-3656 PINE	
						800.52					
001145	ATMOS ENERGY	3332-082423	0	2023 12	INV	P	257.67	D-091923	208966	3015253332-7360 HIG	
001145	ATMOS ENERGY	7003-082223	0	2023 12	INV	P	84.63	D-091923	208957	4039367003-3656 PIN	
001145	ATMOS ENERGY	7730-080323	0	2023 12	INV	P	44.13	D-091923	208966	3015017730-1320 BRO	
001145	ATMOS ENERGY	8239-082223	0	2023 12	INV	P	37.24	D-091923	208966	3015018239-6070 SNO	
						423.67					
001167	AT&T MOBILITY	1874-082823	0	2023 12	INV	P	51.76	D-091923	209425	66228051366461874-P	
001167	AT&T MOBILITY	1875-082823	0	2023 12	INV	P	44.42	D-091923	209405	66228002585351875-P	
001167	AT&T MOBILITY	3041875-8283	0	2023 12	INV	P	35.39	D-091923	209425	66234270783041875-P	
						131.57					
016529	DIRECTV	21298039X230829	0	2023 12	INV	P	200.07	D-091923	209450	TV SERVICE	
016529	DIRECTV	46471734X230905	0	2023 12	INV	A	195.79	D-091923		TV SERV	
						395.86					

FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12
 ACCOUNT/VENDOR INVOICE PO YEAR/PR TYP S WARRANT CHECK DESCRIPTION

		ACCOUNT TOTAL							
		ORG 411	TOTAL						
			1,751.62						
			244,152.19						
412		PARK TOURNAMENTS							
412	622100	PROFESSIONAL FEES							
030534	DATAFACTS	189465		2023 12	INV P	24.50	D-091923	209418	EMP BACKGROUND CHEC
		ACCOUNT TOTAL							
			24.50						
412	627901	TOURNAMENT UMPIRE FEES							
001051	MALONE TERRY	9-10-23	0	2023 12	INV P	1,725.00	D-091923	209477	PG MIDSOUTH SEASON
001068	GUNN, DEWAYNE	9-10-23	0	2023 12	INV P	195.00	D-091923	209455	PG MIDSOUTH SEASON
002743	WRICE WILLIE	9-10-23	0	2023 12	INV P	160.00	D-091923	209513	BASEBALL- PG MIDSOU
002749	HENTZ JEFF	9-10-23	0	2023 12	INV P	500.00	D-091923	209458	PG MIDSOUTH SEASON
008250	NYE ERIC	9-10-23	0	2023 12	INV P	130.00	D-091923	209486	BASEBALL- PG MIDSOU
008764	BEASLEY GARY	9-10-23	0	2023 12	INV P	2,020.00	D-091923	209428	PG MIDSOUTH SEASON
009479	HILL ROBERT LEWIS	9-10-23	0	2023 12	INV P	325.00	D-091923	209460	PG MIDSOUTH SEASON
010184	ACKERMAN JOHNNY	9-10-23	0	2023 12	INV P	385.00	D-091923	209422	PG MIDSOUTH SEASON
011652	WRENN DALE	9-10-23	0	2023 12	INV P	460.00	D-091923	209512	BASEBALL- PG MIDSOU
011656	JORDAN BRANDON	9-10-23	0	2023 12	INV P	400.00	D-091923	209469	BASEBALL- PG MIDSOU
012494	MILTON QUINTON	9-10-23	0	2023 12	INV P	340.00	D-091923	209483	BASEBALL- PG MIDSOU
016709	DAVIS DANIEL	9-10-23	0	2023 12	INV P	610.00	D-091923	209447	PG MIDSOUTH SEASON
017285	STAFFORD ALICIA	9-10-23	0	2023 12	INV P	140.00	D-091923	209501	SEASON OPENER SCORE
021362	MUNNS JEREMY	9-10-23	0	2023 12	INV P	610.00	D-091923	209485	BASEBALL- PG MIDSOU
021399	JORDAN JORDAN	9-10-23	0	2023 12	INV P	898.00	D-091923	209470	SEASON OPENER SCORE
022623	TARTT JEFFREY	9-10-23	0	2023 12	INV P	215.00	D-091923	209503	BASEBALL- PG MIDSOU
023082	CORLEY KENNETH	9-10-23	0	2023 12	INV P	165.00	D-091923	209445	PG MIDSOUTH SEASON
023087	WATSON LAWRENCE	9-10-23	0	2023 12	INV P	305.00	D-091923	209510	BASEBALL- PG MIDSOU
023182	CASHION JOHN H	9-10-23	0	2023 12	INV P	330.00	D-091923	209439	PG MIDSOUTH SEASON
024515	BOND STEVE	9-10-23	0	2023 12	INV P	515.00	D-091923	209432	PG MIDSOUTH SEASON

FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
024526 LACEY PATRICK	9-10-23	0	2023 12	INV	P	330.00 D-091923	209473	PG MIDSOUTH SEASON	
026216 SHEARON JOSHUA	9-10-23	0	2023 12	INV	P	185.00 D-091923	209495	BASEBALL- PG MIDSOU	
026232 TATKO MARK	9-10-23	0	2023 12	INV	P	2,394.00 D-091923	209504	BASEBALL- PG MIDSOU	
026606 FARMER TAJMAHAL	9-10-23	0	2023 12	INV	P	460.00 D-091923	209452	PG MIDSOUTH SEASON	
027984 CRITTENDEN TAYLOR	9-10-23	0	2023 12	INV	P	88.00 D-091923	209446	SEASON OPENER SCORE	
028010 MOORE TIMMY RYAN	9-10-23	0	2023 12	INV	P	160.00 D-091923	209484	BASEBALL- PG MIDSOU	
028303 DAVIS THOMAS	9-10-23	0	2023 12	INV	P	495.00 D-091923	209448	PG MIDSOUTH SEASON	
028446 STEVENSON LONTREAL	9-10-23	0	2023 12	INV	P	390.00 D-091923	209502	BASEBALL- PG MIDSOU	
030373 DOVE RANDY	9-10-23	0	2023 12	INV	P	435.00 D-091923	209451	PG MIDSOUTH SEASDN	
030374 PACILED JIM	9-10-23	0	2023 12	INV	P	265.00 D-091923	209487	BASEBALL- PG MIDSOU	
030790 CLARK FERNANDO	9-10-23	0	2023 12	INV	P	195.00 D-091923	209442	PG MIDSOUTH SEASON	
031989 HARLOW WILLIAM C	AUG25-27	0	2023 12	INV	P	450.00 D-091923	209411	TENNIS	
032094 HODGES JADARRIUS	9-10-23	0	2023 12	INV	P	250.00 D-091923	209461	PG MIDSOUTH SEASON	
032102 BURDETTE AMANDA	9-10-23	0	2023 12	INV	P	220.00 D-091923	209434	SEASON OPENER SCORE	
032180 THERRELL STAN JR	9-10-23	0	2023 12	INV	P	160.00 D-091923	209505	BASEBALL- PG MIDSOU	
032210 WATKINS ARBEDELL	9-10-23	0	2023 12	INV	P	395.00 D-091923	209508	BASEBALL- PG MIDSOU	
033375 MCCLURKAN JOSH	9-10-23	0	2023 12	INV	P	280.00 D-091923	209480	BASEBALL- PG MIDSOU	
033642 SCHIELE ANDREW	9-10-23	0	2023 12	INV	P	265.00 D-091923	209494	BASEBALL- PG MIDSOU	
033748 CASSELL ROBERT	9-10-23	0	2023 12	INV	P	585.00 D-091923	209440	PG MIDSOUTH SEASON	
034391 RAINEY GEORGE ANDREW	9-10-23	0	2023 12	INV	P	198.00 D-091923	209490	SEASON OPENER SCORE	
034394 RICH KELSEY	9-10-23	0	2023 12	INV	P	140.00 D-091923	209491	SEASON OPENER SCORE	
034591 HARRIS MARSHON K	9-10-23	0	2023 12	INV	P	510.00 D-091923	209456	PG MIDSOUTH SEASON	
035273 BROWNLEE MELISSA	9-10-23	0	2023 12	INV	P	66.00 D-091923	209433	SEASON OPENER SCORE	
035283 HILL AMY	9-10-23	0	2023 12	INV	P	220.00 D-091923	209459	SEASON OPENER SCORE	
035360 SIMPSON III EARNEST	9-10-23	0	2023 12	INV	P	520.00 D-091923	209497	BASEBALL- PG MIDSOU	
035363 BERNARD WILLIAM	9-10-23	0	2023 12	INV	P	265.00 D-091923	209429	PG MIDSOUTH SEASON	

FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12										
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION		
035364 SMITH BRANDON COLT	9-10-23	0	2023 12	INV	P	445.00 D-091923	209499	BASEBALL- PG MIDSOU		
035367 BIBLE JOSH	9-10-23	0	2023 12	INV	P	325.00 D-091923	209431	PG MIDSOUTH SEASON		
035394 CASCIO CHRIS	9-10-23	0	2023 12	INV	P	160.00 D-091923	209438	PG MIDSOUTH SEASON		
035395 CLARK VICKI	9-10-23	0	2023 12	INV	P	160.00 D-091923	209443	PG MIDSOUTH SEASON		
035456 JOHNSON BRIANNA	9-10-23	0	2023 12	INV	P	198.00 O-091923	209468	SEASON OPENER SCORE		
035457 SHELL WILLIAM	9-10-23	0	2023 12	INV	P	88.00 D-091923	209496	SEASON OPENER SCORE		
035459 PIGE JAYLON	9-10-23	0	2023 12	INV	P	198.00 D-091923	209488	SEASON OPENER SCORE		
035565 WILSON CEDRIC	9-10-23	0	2023 12	INV	P	340.00 D-091923	209511	BASEBALL- PG MIDSOU		
035626 MCNEIL ASHLEY	9-10-23	0	2023 12	INV	P	44.00 D-091923	209481	SEASON OPENER SCORE		
035706 KULESZA MATTHEW	9-10-23	0	2023 12	INV	P	515.00 D-091923	209472	PG MIDSOUTH SEASON		
035753 HOOD JENNIFER	9-10-23	0	2023 12	INV	P	110.00 D-091923	209465	SEASON OPENER SCORE		
035846 THURMAN HASSIE	9-10-23	0	2023 12	INV	P	88.00 D-091923	209507	SEASON OPENER SCORE		
035921 HENRY MICHAEL	9-10-23	0	2023 12	INV	P	135.00 D-091923	209457	PG MIDSOUTH SEASON		
035966 SMITH JR CORNELIUS	9-10-23	0	2023 12	INV	P	132.00 D-091923	209500	SEASON OPENER SCORE		
035984 ARMSTRONG LONDEN	9-10-23	0	2023 12	INV	P	44.00 D-091923	209424	SEASON OPENER SCORE		
037105 LEWIS DRAKE T	9-10-23	0	2023 12	INV	P	110.00 D-091923	209475	SEASON OPENER SCORE		
037106 CHE' AVA	9-10-23	0	2023 12	INV	P	88.00 D-091923	209441	SEASON OPENER SCORE		
037303 HOLLIDAY III WILLIAM	9-10-23	0	2023 12	INV	P	415.00 D-091923	209462	PG MIDSOUTH SEASON		
037312 SIMS ZION	9-10-23	0	2023 12	INV	P	44.00 D-091923	209498	SEASON OPENER SCORE		
037314 FRAZIER KALEB	9-10-23	0	2023 12	INV	P	66.00 D-091923	209453	SEASON OPENER SCORE		
037318 HOSKINS DARIUS	9-10-23	0	2023 12	INV	P	66.00 D-091923	209466	SEASON OPENER SCORE		
037326 HOLMES DERRICK JAMAR	9-10-23	0	2023 12	INV	P	130.00 D-091923	209464	PG MIDSOUTH SEASON		
037327 CADENHEAD CODY C	9-10-23	0	2023 12	INV	P	195.00 D-091923	209435	PG MIDSOUTH SEASON		
037331 HOLLIDAY JACKSON	9-10-23	0	2023 12	INV	P	110.00 D-091923	209463	SEASON OPENER SCORE		
037332 KELLY CALEB	9-10-23	0	2023 12	INV	P	110.00 D-091923	209471	SEASON OPENER SCORE		
037337 SANTUCCI SHERRIE	9-10-23	0	2023 12	INV	P	140.00 D-091923	209493	SEASON OPENER SCORE		

FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12										
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION			
037396 LEE JOSEPH ANGLIN	9-10-23	0	2023 12	INV P	380.00 D-091923	209474	PG MIDSOUTH SEASON			
037400 WATSON JAYLON	9-10-23	0	2023 12	INV P	220.00 D-091923	209509	SEASON OPENER SCORE			
037402 BASS O'RYAN	9-10-23	0	2023 12	INV P	132.00 D-091923	209427	SEASON OPENER SCORE			
037607 CARTER MARK	9-10-23	0	2023 12	INV P	250.00 D-091923	209437	PG MIDSOUTH SEASON			
037647 CAPPS HAYLE	9-10-23	0	2023 12	INV P	110.00 D-091923	209436	SEASON OPENER SCORE			
037916 ADAMS BRIANNA	9-10-23	0	2023 12	INV P	110.00 D-091923	209423	SEASON OPENER SCORE			
037917 MARETT BROCK	9-10-23	0	2023 12	INV P	260.00 D-091923	209478	PG MIDSOUTH SEASON			
038338 LUCAS DONNA	9-10-23	0	2023 12	INV P	140.00 D-091923	209476	SEASON OPENER SCORE			
038339 HUTSON AVERY	9-10-23	0	2023 12	INV P	88.00 D-091923	209467	SEASON OPENER SCORE			
038340 COOK ADDISON	9-10-23	0	2023 12	INV P	198.00 D-091923	209444	SEASON OPENER SCORE			
038341 QUINN CYLEN	9-10-23	0	2023 12	INV P	88.00 D-091923	209489	SEASON OPENER SCORE			
038342 THORN WILLIAM DANIEL	9-10-23	0	2023 12	INV P	88.00 D-091923	209506	SEASON OPENER SCORE			
ACCOUNT TOTAL					26,869.00					
ORG 412 TOTAL					26,893.50					
902	GENERAL EXPENSES									
902	620902	FACILITIES MANAGEMENT								
001145	ATMOS ENERGY	1048-082323	0	2023 12	INV P	43.55 D-091923	208966	4045331048-7312	HIG	
014437	CB RICHARD ELLIS COR	40716	0	2023 12	INV P	467.69 D-091923	208958	AUG. 2023	RENT	
014437	CB RICHARD ELLIS COR	40806	0	2023 12	INV P	467.69 D-091923	208958	SEPT. 2023	RENT	
					935.38					
018521	SOUTHERN TELECOMMUNI	8-28-23	0	2023 12	INV P	304.84 D-091923	208963	6623934898-	08/28/2	
ACCOUNT TOTAL					1,283.77					
902	622100	PROFESSIONAL SERVICES								
024871	WAGeworks	823-TR44884	0	2023 12	INV P	379.75 D-091923	209421	COBRA ADMIN	FEEs	
ACCOUNT TOTAL					379.75					
ORG 902 TOTAL					1,663.52					
904	LITIGATION									
904	629100	CLAIMS PAYMENTS								
011139	TRAVELERS	9-5-23	0	2023 12	INV P	793.94 D-091923	209415	PAYMENT FOR	AT-FAUL	

FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
				ACCOUNT	TOTAL		793.94		
			ORG 904	TOTAL			793.94		
	FUND 0010	GENERAL FUND		TOTAL:			446,958.75		

FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
711									
711	640965								BOND PROJECT EXPENSES
037356	ACUFF ENTERPRISES IN PAYREQUESTS	0	2023 12	INV	P				GETWELL ROAD SOUTH 18
						541,656.27	D-091923	209416	GETWELL ROAD WIDENI
									ACCOUNT TOTAL
						541,656.27			
									ORG 711 TOTAL
						541,656.27			
FUND 0100 BOND FUNDED CAP PROJ						TOTAL:			541,656.27

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION		
825							UTILITY MAINTENANCE EXPENSES		
825	622100						PROFESSIONAL SERVICES		
	027972	MID SOUTH SEPTIC LLC	80154-1	0	2023 12	INV P		2,109.00	D-091923 209412 PUMPED 3 LIFT STATI
	030534	DATAFACTS	189464	0	2023 12	INV P		44.50	D-091923 209418 EMP BACKGROUND CHEC
							ACCOUNT TOTAL	2,153.50	
825	624500						LICENSES & MISCELLANEOUS FEES		
	003862	MS STATE DEPT OF HEA	9-6-23	0	2023 12	INV P		50.00	D-091923 209413 WATERWORKS OPERATOR
	015379	DEPT. OF ENVIRONMENT	GWSW-5255	0	2023 12	INV P		10.00	D-091923 209449 PERMIT- MS-GW-14775
							ACCOUNT TOTAL	60.00	
825	625700						TELEPHONE & POSTAGE		
	001095	VERIZON WIRELESS	9943356530	0	2023 12	INV A		600.15	D-091923 9/1/23 ACCT 6421516
	001167	AT&T MOBILITY	7424-082723	0	2023 12	INV A		86.46	D-091923 287288007424-UTILIT
	021382	PETTY CASH	8-30-23	0	2023 12	INV P		11.45	D-091923 209419 PETTY CASH 05/26-08
							ACCOUNT TOTAL	698.06	
825	626000						UTILITIES		
	000966	ENERGY	10017989712	0	2023 12	INV A		136.93	D-091923 85491660-CHANCEY CV
	000966	ENERGY	115007342635	0	2023 12	INV P		115.73	D-091923 208959 16835787- HUDGINS R
	000966	ENERGY	120006227878	0	2023 12	INV A		32.78	D-091923 79240206-4154 DAVIS
	000966	ENERGY	135007277693	0	2023 12	INV A		394.69	D-091923 190081844-2017 STAR
	000966	ENERGY	165007202237	0	2023 12	INV P		35.05	D-091923 209408 112498183-1395 PLEA
	000966	ENERGY	20009175036	0	2023 12	INV A		84.41	D-091923 60572526-GROVE MEAD
	000966	ENERGY	2025700463	0	2023 12	INV P		10,113.10	D-091923 208959 16850588-7525 GREEN
	000966	ENERGY	2025731738	0	2023 12	INV A		5,089.16	D-091923 17627084-170 COLLEG
	000966	ENERGY	220005674714	0	2023 12	INV A		73.46	D-091923 122346919-LEGENDS L
	000966	ENERGY	220005674754	0	2023 12	INV A		188.00	D-091923 122867856-4164 HWY
	000966	ENERGY	220005674755	0	2023 12	INV A		265.20	D-091923 122868045-53 WOODLA
	000966	ENERGY	230005674352	0	2023 12	INV P		175.09	D-091923 208968 173771627-5937 KUYK
	000966	ENERGY	250005737766	0	2023 12	INV A		.08	D-091923 122548779-5253 SWIN
	000966	ENERGY	260005758130	0	2023 12	INV A		137.60	D-091923 76194174-303 LONG S
	000966	ENERGY	270005777247	0	2023 12	INV A		2,182.63	D-091923 17625948-4446 AIRWA
	000966	ENERGY	320004083665	0	2023 12	INV P		30.98	D-091923 208961 16292922-8779 WHITW
	000966	ENERGY	335005321140	0	2023 12	INV A		148.65	D-091923 19338714-TURMAN DR
	000966	ENERGY	375004979927	0	2023 12	INV A		144.93	D-091923 43981182-1903 STARL
	000966	ENERGY	380003912597	0	2023 12	INV A		142.94	D-091923 18757831-3401 WOODL
	000966	ENERGY	410003056777	0	2023 12	INV A		70.62	D-091923 107599953-2543 JIM
	000966	ENERGY	415004533350	0	2023 12	INV P		137.67	D-091923 208959 16293136-8779 WHITW
	000966	ENERGY	440003169559	0	2023 12	INV P		12.50	D-091923 208962 19047166-1281 BROOK
	000966	ENERGY	50008492115	0	2023 12	INV P		106.71	D-091923 208960 16835233-TOWN & COU
	000966	ENERGY	50008492116	0	2023 12	INV P		32.77	D-091923 208961 16839508-8989 STANT
	000966	ENERGY	65007734946	0	2023 12	INV A		85.45	D-091923 57153132-2768 BLACK
	000966	ENERGY	85007589929	0	2023 12	INV A		120.85	D-091923 87490884-2017 STAR

FY2023 CLAIM DOCKET D-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
						20,057.98			
001105	NORTHCENTRAL ELECTRI 7001-0823	0	2023 12	INV	P	103.84	D-091923	209414	COBBLESTONE LIFT ST
001105	NORTHCENTRAL ELECTRI 7007-0923	0	2023 12	INV	A	153.52	D-091923		59247007-5714 RIVER
001105	NORTHCENTRAL ELECTRI 7011-0823	0	2023 12	INV	P	33.25	D-091923	209414	59247011-4105 GOODM
						290.61			
001145	ATMOS ENERGY 1609-0823	0	2023 12	INV	P	37.17	D-091923	209406	4012381609-4164 HWY
001145	ATMOS ENERGY 1654-082223	0	2023 12	INV	P	22.93	D-091923	208966	4012381654-53 WOODL
						60.10			
001167	AT&T MOBILITY 8869X09112023	0	2023 12	INV	A	467.29	D-091923		LAPTOPS & SCADA
						ACCOUNT TOTAL			20,875.98
						ORG 825			TOTAL
									23,787.54
FUND 0400 UTILITY FUND						TOTAL:			23,787.54

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FY2023 CLAIM DOCKET W-091923

YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
0010				GENERAL FUND				
0010	211300			SALES TAX PAYABLE				
001176	MS DEPT OF REVENUE	9-11-23	0	2023 12 DIR P	7,374.58	w-091923	64783	AUGUST 2023 SALES T
				ACCOUNT TOTAL	7,374.58			
			ORG 0010	TOTAL	7,374.58			
FUND 0010 GENERAL FUND				TOTAL:	7,374.58			

FY2023 CLAIM DOCKET W-091923

YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
0400								
0400	211300							
001176 MS DEPT OF REVENUE	9-11-23	0	2023 12	DIR P	23,259.42	W-091923	64783	AUGUST 2023 SALES T
					ACCOUNT TOTAL			23,259.42
					ORG 0400	TOTAL		23,259.42
FUND 0400 UTILITY FUND					TOTAL:			23,259.42

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET W-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION			
0600			PAYROLL FUND						
0600	214900		DEFERRED COMPENSATION						
002311	EMPOWER RETIREMENT	1119823412	0	2023 12 DIR P	5,559.72	W-091923	64781	DEF COMP SEPT 2023	
002311	EMPOWER RETIREMENT	1121341562	0	2023 12 DIR P	3,392.00	W-091923	64782	DEF COMP 2ND HALF	
					8,951.72				
				ACCOUNT TOTAL	8,951.72				
0600	215101		CAF-PRETAX MEDICAL						
022644	CORPORATE PLANNING	9-01-23	0	2023 11 DIR P	6,537.31	W-091923	64778	FSA/DFSA 090123	
				ACCOUNT TOTAL	6,537.31				
0600	216100		SHORT TERM DISABILITY						
035154	COLONIAL LIFE	57505750807403	0	2023 12 DIR P	4,606.60	W-091923	64779	STD PREMIUMS AUG. 2	
				ACCOUNT TOTAL	4,606.60				
			ORG 0600	TOTAL	20,095.63				
FUND 0600 PAYROLL FUND				TOTAL:	20,095.63				

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CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET U-091923

YEAR/PERIOD: 2022/4 TO 2023/12											
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION			
0400				UTILITY	FUND						
0400	130700			ACCOUNTS	RECEIVABLE						
002879	LIFESTYLE HOME LLC	43154	0	2023	12	INV	A	107.45	U-091923		
002879	LIFESTYLE HOME LLC	43158	0	2023	12	INV	A	48.95	U-091923		
								156.40			
003960	ELLIS CHARLES	43173	0	2023	12	INV	A	36.35	U-091923		
012774	ADAMS HOMES	43142	0	2023	12	INV	A	37.25	U-091923		
012774	ADAMS HOMES	43161	0	2023	12	INV	A	2.15	U-091923		
								39.40			
017173	AUSBURN CHARLOTTE **	43176	0	2023	12	INV	A	48.85	U-091923		
025277	MARATHON MANAGEMENT	43170	0	2023	12	INV	A	65.90	U-091923		
025462	MUDDY WATER	43165	0	2023	12	INV	A	87.45	U-091923		
025462	MUDDY WATER	43172	0	2023	12	INV	A	95.45	U-091923		
025462	MUDDY WATER	43180	0	2023	12	INV	A	87.45	U-091923		
								270.35			
025479	HARPER JOSH	43157	0	2023	12	INV	A	95.45	U-091923		
026680	SKY LAKE CONSTRUCTIO	43160	0	2023	12	INV	A	2.15	U-091923		
026680	SKY LAKE CONSTRUCTIO	43162	0	2023	12	INV	A	107.45	U-091923		
026680	SKY LAKE CONSTRUCTIO	43163	0	2023	12	INV	A	107.45	U-091923		
026680	SKY LAKE CONSTRUCTIO	43166	0	2023	12	INV	A	125.00	U-091923		
026680	SKY LAKE CONSTRUCTIO	43167	0	2023	12	INV	A	19.70	U-091923		
026680	SKY LAKE CONSTRUCTIO	43171	0	2023	12	INV	A	101.60	U-091923		
								463.35			
034210	MYND MANAGEMENT INC	43168	0	2023	12	INV	A	65.90	U-091923		
034210	MYND MANAGEMENT INC	43174	0	2023	12	INV	A	65.90	U-091923		
								131.80			
035815	D. R. HORTON	43155	0	2023	12	INV	A	89.90	U-091923		
035815	D. R. HORTON	43175	0	2023	12	INV	A	107.45	U-091923		
								197.35			
035964	WILLIAMSON JANE W	43178	0	2023	12	INV	A	75.75	U-091923		
036740	JDM PROPERTIES	43177	0	2023	12	INV	A	42.80	U-091923		
037052	RS RENTAL II LLC	43147	0	2023	12	INV	A	65.90	U-091923		
037124	MONA WHEELER - UBOVP	43153	0	2023	12	INV	A	6.80	U-091923		

FY2023 CLAIM DOCKET U-091923

YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
037281 EVERNEST LLC.	43150	0	2023 12	INV A	7.10	U-091923		
037732 PINE GROVE RESIDENTI	43156	0	2023 12	INV A	95.45	U-091923		
038070 EVERNEST, LLC	43152	0	2023 12	INV A	65.90	U-091923		
038317 TATUM ARTHUR - UBOVP	43102	0	2023 12	INV A	125.00	U-091923		
038318 SUPERIOR INVESTMENTS	43103	0	2023 12	INV A	125.00	U-091923		
038319 WARD KEVIN	43105	0	2023 12	INV A	125.00	U-091923		
038349 BLUE LOWELL	43112	0	2023 12	INV A	20.45	U-091923		
038350 JONES JEROME	43113	0	2023 12	INV A	54.50	U-091923		
038351 HILL WILLARO A	43114	0	2023 12	INV A	144.65	U-091923		
038352 KELLY NANCY KEENUM &	43115	0	2023 12	INV A	95.45	U-091923		
038353 PETTY ROBERT JR	43116	0	2023 12	INV A	95.45	U-091923		
038354 MATTRESS FIRM INC	43117	0	2023 12	INV A	114.40	U-091923		
038355 FITZPATRICK ANN E	43118	0	2023 12	INV A	125.00	U-091923		
038356 GALLAGHER AARON & JA	43119	0	2023 12	INV A	40.65	U-091923		
038357 HUGHES ANTHONY & PAT	43120	0	2023 12	INV A	95.45	U-091923		
038358 ETHERIDGE SANDRA	43121	0	2023 12	INV A	16.76	U-091923		
038359 THOMAS MICHAEL	43122	0	2023 12	INV A	48.35	U-091923		
038360 FAIN GREGORY J	43123	0	2023 12	INV A	95.45	U-091923		
038361 LUIS JAMES	43124	0	2023 12	INV A	60.05	U-091923		
038362 TRACY LAUREN	43125	0	2023 12	INV A	19.10	U-091923		
038363 TAGGART DONNA	43126	0	2023 12	INV A	95.45	U-091923		
038364 LARSON SANDRA K	43127	0	2023 12	INV A	20.45	U-091923		
038365 THOMPSON JOHN BARUCK	43128	0	2023 12	INV A	72.05	U-091923		
038366 RIARTES KARIM	43129	0	2023 12	INV A	95.45	U-091923		
038367 PARTYKA LAURA	43130	0	2023 12	INV A	95.45	U-091923		
038368 CLARK BRANDON	43131	0	2023 12	INV A	110.55	U-091923		

FY2023 CLAIM DOCKET U-091923

YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
038369 HAMPTON MARISSA	43132	0	2023 12	INV	A	65.90	U-091923	
038370 STURGIS TYLER	43133	0	2023 12	INV	A	95.45	U-091923	
038371 RING JACOB	43134	0	2023 12	INV	A	83.75	U-091923	
038372 HRIN CEU	43135	0	2023 12	INV	A	65.90	U-091923	
038373 III BARNEY ALLEN ROB	43136	0	2023 12	INV	A	104.33	U-091923	
038374 KIMMETT JAMES	43137	0	2023 12	INV	A	39.78	U-091923	
038375 MILLS SARAH	43138	0	2023 12	INV	A	66.20	U-091923	
038376 JOHN & CASEY GRUNDY	43139	0	2023 12	INV	A	87.45	U-091923	
038377 BAKER LYNN	43140	0	2023 12	INV	A	36.35	U-091923	
038378 CLOAR TEYTON	43141	0	2023 12	INV	A	48.35	U-091923	
038379 ARREDONDO THERESA	43143	0	2023 12	INV	A	65.90	U-091923	
038380 POLLARD GABRIELLE	43144	0	2023 12	INV	A	30.80	U-091923	
038381 HICKEY GREGORY J	43145	0	2023 12	INV	A	95.45	U-091923	
038382 IZAGUIRRE DANIELLE	43146	0	2023 12	INV	A	36.35	U-091923	
038383 YOUSSEF LAGHMAM & KH	43148	0	2023 12	INV	A	13.55	U-091923	
038384 MELARAM RAJESH & BRA	43149	0	2023 12	INV	A	60.05	U-091923	
038385 RICHARDS O'NEIL	43151	0	2023 12	INV	A	30.80	U-091923	
038386 NABIT BARBARA	43159	0	2023 12	INV	A	65.90	U-091923	
038387 SMC SFR LLC	43164	0	2023 12	INV	A	49.90	U-091923	
038387 SMC SFR LLC	43169	0	2023 12	INV	A	49.90	U-091923	
						99.80		
038388 GAUTREAU STEVEN	43179	0	2023 12	INV	A	95.45	U-091923	
038389 PAXTON TIM	43181	0	2023 12	INV	A	95.45	U-091923	
			ACCOUNT TOTAL			5,137.97		
			ORG 0400	TOTAL		5,137.97		

FY2023 CLAIM DOCKET U-091923

YEAR/PERIOD: 2022/4 TO 2023/12	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
FUND 0400 UTILITY FUND				TOTAL:					5,137.97

CITY OF SOUTHAVEN



FY2023 CLAIM DOCKET U-091923

YEAR/PERIOD: 2022/4 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
0450				SANITATION FUND					
0450	130700			ACCOUNTS RECEIVABLE					
017183	SIRIUS INVESTMENT	43104	0	2023	12	INV A	86.54	U-091923	
						ACCOUNT TOTAL	86.54		
0450	130707			ACCOUNT RECEIVABLE RECYCLE					
038316	TURNER DEBORA - RENT	43101	0	2023	12	INV A	125.00	U-091923	
						ACCOUNT TOTAL	125.00		
						ORG 0450 TOTAL	211.54		
FUND 0450 SANITATION FUND						TOTAL:	211.54		

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FY2023 CLAIM DOCKET WIRE_001

YEAR/PERIOD: 2023/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION		
0600			PAYROLL FUND					
0600	214300		EMPLOYEE MEDICAL INSURANCE					
031228	UNITEDHEALTHCARE INC 649144626049	0	2023 12 DIR P	304,949.52	WIRE_001	64780 UHC PREMIUMS		
			ACCOUNT TOTAL	304,949.52				
0600	215102		DENTAL INSURANCE PREMS					
031228	UNITEDHEALTHCARE INC 649144626049	0	2023 12 DIR P	18,321.55	WIRE_001	64780 UHC PREMIUMS		
			ACCOUNT TOTAL	18,321.55				
0600	215105		VISION					
031228	UNITEDHEALTHCARE INC 649144626049	0	2023 12 DIR P	3,538.23	WIRE_001	64780 UHC PREMIUMS		
			ACCOUNT TOTAL	3,538.23				
			ORG 0600 TOTAL	326,809.30				
FUND 0600 PAYROLL FUND				TOTAL:	326,809.30			

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The City of Southaven Docket Recap

September 19, 2023

Special Docket

General Fund	-
Fire	-
Ems	-
Public Works	-
Parks	-
Facilities Management	-
Tourist & Convention	-
Payroll Fund	\$18,887.22
SPECIAL DOCKET TOTAL	\$18,887.22

*Note: Life Insurance Company of North America (Cigna)

FY2023 CLAIM DOCKET S-091923

YEAR/PERIOD: 2022/4 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
0600								
0600	216108							
022642	LIFE INSURANCE COMPA AUG2023	0	2023 11	DIR P	18,887.22	S-091923	64551	AUG 2023 EMP LIFE I
				ACCOUNT TOTAL	18,887.22			
			ORG 0600	TOTAL	18,887.22			
FUND 0600 PAYROLL FUND					TOTAL:	18,887.22		

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CEDS



Community & Environmental Defense Services

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[SUCSESSES \(HTTPS://CEDS.ORG/SUCCESS-EXAMPLES/\)](https://ceds.org/success-examples/)

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How To Stop Poorly-Planned Gas Stations & Convenience Stores



(<https://i0.wp.com/ceds.org/wp-content/uploads/2022/06/Banner-Benzene-Pumps-Pediatrician-Alcohol.jpg?ssl=1>)



While a gas station – convenience store can provide many benefits, these establishments can have a severe effect on human health, property value, and other quality of life aspects when allowed too close to homes or other inappropriate locations.

If you're concerned about a proposed gas station-convenience store anywhere in the USA then contact CEDS at 410-654-3021 or Help@ceds.org (<mailto:Rklein@ceds.org>) today for an initial no-cost discussion of strategy options.

Please don't hesitate since delay almost always decreases the likelihood of success.

Click this sentence to see examples of CEDS gas station-convenience store successes. (<https://ced-s.org/success%20examples/#gasstation>)

In this webpage we offer advice on how homeowners, neighborhood associations, and even store or station owners can get the benefits these establishments provide without the negative impacts. If you're looking for strategy options specific to your situation then consider retaining CEDS to manage your campaign.

We can review a proposed gas station – convenience store for the impacts described below and more. An example of a CEDS analysis can be viewed by clicking: [Gas Station-Convenience Store Strategy Analysis Example](https://ceds.org/wp-content/uploads/2022/05/Initial-Strategy-Analysis-Hypermart-Gas-Station-Convenience-) (<https://ceds.org/wp-content/uploads/2022/05/Initial-Strategy-Analysis-Hypermart-Gas-Station-Convenience->



Store.pdf). This analysis prompted decision-makers to deny [special exception-conditional use permits \(https://ceds.org/se/\)](#) for a proposed convenience store-gas station. To see the many places around the nation where we've helped others, see the [CEDS Case Map \(https://www.google.com/maps/d/viewer?hl=en_US&mid=1iISlczue7bdrSrGdRH002jgJ_-k\)](#).

Between our unique [Politically Oriented Advocacy \(https://ceds.org/poa/\)](#), [Equitable Solutions \(https://ceds.org/eqs/\)](#) and [Smart Legal Strategy \(https://ceds.org/sls/\)](#) approaches we can triple the likelihood of success at a fraction of the cost. Contact us at [Help@ceds.org \(mailto:Help@ceds.org\)](mailto:Help@ceds.org) or 410-654-3021 for a no-cost initial discussion of strategy options.

A Bit of Convenience Store, Gas & Service Station Background

The following will help you understand the context of these three uses. This context is critical to formulating a strategy to protect a neighborhood or the environment from the impacts of a convenience store, gas or service station proposed for the wrong site or suffering from a flawed design.

Convenience Stores: When the first convenience store opened in 1927, they were mostly small, Mom and Pop establishments where one could buy snacks, basic kitchen-health supplies, beverages, prepared foods, etc. Beginning in the 1980s, convenience stores were combined with gas stations. Today, a growing number offer vehicle maintenance and repair as well.

Today, there are more than 140,000 convenience stores in the USA. Convenience is indeed the key to the success of these stores. It is this attribute which prompts 80% of Americans to prefer shopping at a convenience store vs. supermarkets. In fact, 100 million Americans shop at convenience stores every day.

Gas Stations: The number of gas stations in the U.S. has been declining. [In 1994, there were 202,800 gas stations across the nation, but by 2012 the number was down to 156,065.](#)

<https://www.convenience.org/Topics/Fuels>) The decline can be attributed to cars getting more miles per gallon, thus needing less gas, as well as new stations adding many more pumps. The decline is also due to supermarkets, big-box stores and others using cheap gas outside to draw customers inside. CEDS developed a spreadsheet approach for determining if a need exists for additional gas stations in an area. For further detail see [Assessing Gas Station Need](#) below.



Vehicle Repair Facilities: Known as service stations or garages, vehicle repair facilities are essential services. But these facilities can cause impacts greater than those associated with just a convenience store or a gas station. Primary impacts include:

- Noise from body repair, tire changes and large truck or bus diesel engines;
- Air pollution due to diesel engines idling for extended periods, paint vapors or dust emitted from body refinishing; and
- The release of a variety of polluting materials that settle on parking lots and other *impervious* (https://en.wikipedia.org/wiki/Impervious_surface) surfaces which then wash into nearby ground or surface waters with each rain.

Hypermarts, Supermarkets & Big-Box Stores: Known as [Hypermarts](https://en.wikipedia.org/wiki/Hypermarket)

(<https://en.wikipedia.org/wiki/Hypermarket>), large combination convenience stores with sit-down space and numerous fueling positions are becoming increasingly common.

Hypermarts, supermarkets and big-box stores that are part of regional or national chains can buy and sell gas for less than traditional, locally-owned gas stations. This usually causes one or more of these older businesses to go out of business when one of these big newcomers opens.

A number of studies (<https://www.amiba.net/resources/multiplier-effect/>) have shown that local economies are better off with locally owned businesses compared to those which are part of national chain. These studies show that on average 48% of each purchase at a locally-owned business circulates through the local economy compared to less than 14% of purchases from national chain stores.

The following studies show that hypermarts can force existing gas stations to lower their prices which may eventually cause them to go out of business.

A study conducted in the Tucson, AZ area

(https://naguelakakis.files.wordpress.com/2016/10/hypermarts_full_text_prelim.pdf)

documented that:

On average, if a gas station is located within 0.5 road miles of a hypermart, the stations price is pushed down about 2.1 cents, and if it's located between 0.5 and 1.5 miles, the price is lowered by 1.2 cents. This effect of a hypermart is substantially greater than the effect of the addition of a traditional gas station in the areas.

In the Nashville, TN area (<http://citeseerx.ist.psu.edu/viewdoc/download?doi=10.1.1.525.8562&rep=rep1&type=pdf>) researchers found that hypermarts:

...do in fact place statistically and economically significant downward pressure on the prices of nearby gas stations. The magnitude of the price impact implies the entrance of a hypermart into a local market will cut an average gas station's profit in half. The findings reaffirm others who have noted the sizable impact large, low-priced firms have on their smaller competitors.

Abandoned gas station sites are difficult to convert to other uses. In the meantime, they deteriorate causing the area to appear rundown, lowering property value. This impact is addressed below under Blighting.

Gas Station & Convenience Store Potential Impacts

Following are the impacts which may be associated with a convenience store, a gas station or a vehicle repair facility. Note that most can be resolved, provided both the site and design is right.

Alcohol Sales & Crime

One of the concerns which often arises with regard to proposed convenience stores is the possibility of beer, wine, and other alcohol sales. CEDS compiled an initial review of scientific studies relevant to the potential effect of convenience stores with off-sale (alcohol to be consumed elsewhere) liquor licenses on crime and public health. The review can be downloaded at: <https://ceds.org/wp-content/uploads/2020/09/Crime-Alcohol-Studies.pdf> (<https://ceds.org/wp-content/uploads/2020/09/Crime-Alcohol-Studies.pdf>)

The author of the review – CEDS president Richard Klein – has no particular expertise in this subject area. The review is our interpretation of what the researchers found which may be most applicable to proposed convenience stores near neighborhoods. Clicking on each blue title in the review will take you to the actual paper. We also included the abstract so you can judge the accuracy of our interpretation.

The intent of the review is to provide neighborhood residents with a starting point for a discussion of the science regarding alcohol beverage sales and neighborhood safety. CEDS or our clients contacted many of the researchers who conducted these studies to confirm we



accurately interpreted their findings.

The gist of these studies is that a positive relationship exists between crime as well as adverse health effects and the number outlets selling alcohol for consumption elsewhere (off-sale) in a given area. This is particularly true for low-income and other stressed communities.

The gist of the findings are that allowing off-sale of alcoholic beverages at a proposed convenience store **may** increase crime and other adverse health effects, **especially if the store is open 24/7** (<https://pubmed.ncbi.nlm.nih.gov/29227232/>). One study (<https://www.ncbi.nlm.nih.gov/pmc/articles/PMC6679806/>) indicated the presence of an off-sale, 24/7 establishment:

“may attract people at increased risk for involvement with violent crime.”

In another study (<https://www.ncbi.nlm.nih.gov/pmc/articles/PMC3778110/>), researchers concluded:

“Children with an alcohol outlet on the route to school were more likely to be offered alcohol, tobacco, and other drugs as well as be exposed to drug selling and seeing people using drugs.”

Some states (<https://codes.findlaw.com/tx/alcoholic-beverage-code/alco-bev-sect-109-33.html>), counties (https://library.municode.com/fl/polk_county/codes/code_of_ordinances?nodeId=COOR_CH3ALBE) and cities (https://library.municode.com/FL/Miami/codes/code_of_ordinances?nodeId=PTIITHCO_CH4ALBE) prohibit alcohol sales within a thousand feet of a school, daycare center, park, or other locations frequented by children.

For further information visit the [CEDS Crime & Alcohol Outlets webpage](https://ceds.org/alcohol/) (<https://ceds.org/alcohol/>).

Blighting

Every community has boarded up stores and even entire blocks or shopping centers that have been abandoned. These lost commercial opportunities are frequently poorly maintained, making them unattractive and unpleasant neighbors. This is known as blight.



One of the causes of blight is excessive or unfair competition. There is an upper limit to the number of retail establishments any area can handle. In urban areas with high traffic volumes there can be a thriving gas station-convenience store on nearly every corner. Whereas rural settings may only support a single store at only one out of every ten or so major intersections.

Some localities have adopted limits on how many convenience stores or gas stations can exist within a given area. Others require a market analysis to demonstrate that an area can accommodate another store. But applying these planning tools can be tricky in situations where an aging c-store would be put out of business by a new establishment with four times the floor space. One option though is to provide strong incentives for the new store owners to buy out the old and redevelop the site.

Community Character

Originally, most commercial uses were located in downtown areas. With the automobile new convenience stores and other commercial uses were increasingly located in strips along major highways. This ugly form of growth is only accessible by car.

Modern planning philosophy calls for locating convenience stores in neighborhood scale commercial areas accessible by walking, bicycling or car. Of course there will always be a need to locate convenience stores and gas stations along major highways. However, managing growth to bring convenience stores and other retail outlets back to downtown areas could do much to revitalize blighted areas and enhance our quality of life.

Crime

Convenience store hold-ups account for about 6% (https://www.popcenter.org/problems/robbery_convenience/) of all robberies in the nation. One study noted that:

“Convenience store employees suffer from high rates of workplace homicide, second only to taxicab drivers.”

A study (<http://resources.prev.org/documents/AlcoholViolenceGruenewald.pdf>) of the relationship between violence of other factors found an increasing trend as the number of alcohol outlets in an area rose. Following is a principal finding from this study:



“A larger number of alcohol outlets and a higher rate of violence might be expected in poorer neighborhoods or in neighborhoods with a larger population young people. But as the research described above shows, even when levels of poverty and the age and the ethnic background of residents are taken into account, a high density of outlets is strongly related to violence regardless of a neighborhood’s economic, ethnic or age status.”

Another [study](#)

(http://www.colgate.edu/portaldata/imagegallerywww/2050/ImageGallery/teh_jobmktpaper.pdf) only noted an increase in crime in relation to number of alcohol outlets in low-income communities.

A National Association of Convenience Stores [report](#)

(<http://diogenesllc.com/cstoresecurity.pdf>) noted that the following steps were the most effective in reducing convenience store crime:

- cash control (by frequently putting excess cash in an in-store safe);
- locating a store where there are few escape routes (e.g. nearby highways);
- good lighting;
- visibility (locating stores in areas with lots of passersby); and
- employee training.

Health Effects: Is It Safe to Live Near a Gas Station

A number of compounds injurious to human health are released from gas stations during vehicle fueling and from underground storage tank vents. [These compounds include:](#)

[benzene, toluene, ethyl benzene, and xylene \(BTEX\)](#)

(<https://www.ncbi.nlm.nih.gov/pubmed/26435043>). Measures to reliably resolve these adverse health effects are not employed at new gas stations.

Benzene is the gasoline constituent most harmful to human health. Adverse health effects of benzene include nausea, cancer, anemia, increased susceptibility to infections, and low birth weight. According to the [World Health Organization Guidelines for Indoor Air Quality](#) (<https://www.ncbi.nlm.nih.gov/books/NBK138708/>) **there is no safe level for benzene.** The following research documents the extent of benzene releases from gas stations as well as adverse health effects:

- A 1993 study (<https://www.ncbi.nlm.nih.gov/pmc/articles/PMC1520004/>) published by the Canadian petroleum industry found average benzene concentrations of 146 and 461 parts per billion (ppb) at the gas station property boundary in summer and winter, respectively.
- A 2001 study (<https://www.tandfonline.com/doi/abs/10.1080/10473289.2001.10464339>) noted median ambient benzene levels of 1.9 ppb in houses up to 328 feet from a service station.
- A 2003-2004 study (<https://www.ncbi.nlm.nih.gov/pubmed/19213757>) conducted in France documented a significant relationship between childhood leukemia and living near a gas station.
- A 2010 study (<https://www.ncbi.nlm.nih.gov/pubmed/20810207>) conducted in Spain documented elevated air pollution within 100 meters (328 feet) of a gas station.
- In 2012, Brazilian researchers (<https://www.sciencedirect.com/science/article/pii/S1309104215304384>) found that air quality was significantly degraded up to 150 meters (492 feet) from gas stations.

In 2005, the California Air Resources Board probably became the first in the U.S. to recommend a minimum public health safety zone between new gas stations and “sensitive land uses.” The recommendation appeared in *Air Quality and Land Use Handbook: A Community Health Perspective* (<http://www.aqmd.gov/docs/default-source/ceqa/handbook/california-air-resources-board-air-quality-and-land-use-handbook-a-community-health-perspective.pdf>). The pre-2005 studies referenced above and other research prompted the Board to recommend a minimum 300-foot separation distance between new gas stations and “sensitive land uses such as residences, schools, daycare centers, playgrounds, or medical facilities.” The State of California is widely recognized as having some of the most effective air pollution control requirements in the nation. Yet even with California controls a minimum separation is still required to protect public health.

The U.S. Environmental Protection Agency echoed concerns about the health risk associated with gas station emissions in their *School Siting Guidelines* (https://www.epa.gov/sites/production/files/2015-06/documents/school_siting_guidelines-2.pdf). The USEPA recommended screening school sites for potential health risk when located within 1,000 feet of a gas station.

The last (Zoning) section (<https://ceds.org/convenience/#zoning>) of this webpage contains a sampling of the public health safety zones for new gas station adopted by other U.S. jurisdictions. Most call for a greater separation than the 300 feet recommended by the California Air Resources Board. The increasing safety zone distances were prompted by the growing body of research showing that adverse health effects extend further and further from gas stations. In fact, a 2019 study (<https://www.sciencedirect.com/science/article/pii/S0048969718337549>) of U.S. gas stations found that benzene emissions from underground gasoline storage tank vents were sufficiently high to constitute a health concern at a distance of up to 524-feet. Also, the researchers noted:

“emissions were 10 times higher than estimates used in setback regulations [like that in the California handbook] used to determine how close schools, playgrounds, and parks can be situated to the facilities [gas stations].”

Prior to the 2019 study it was thought that most of the benzene was released at the pump during fueling. A 2015 paper (<https://www.ncbi.nlm.nih.gov/pubmed/26435043>) noted the following bit of irony with regard to vapor recovery and harmful emissions from gas station storage tanks:

“It is important to note that vapor recovery at the nozzle can cause vapor releases at the storage tank, because vapors recovered at the nozzle are typically directed into the storage tank. The storage tank, in turn, can “breathe” and potentially release recovered vapors immediately or at a later time. A tank sucks in relatively uncontaminated air as the liquid fuel level drops in the tank due to vehicle refueling, and it releases vapors through the vent pipe into the atmosphere if the gas pressure increases and exceeds the cracking pressure of the pressure/vacuum valve, when fuel evaporates into unequilibrated gas in the headspace.”

The 2015 paper contained the following summary regarding the health implications of living, working or learning near a gas station:

“Health effects of living near gas stations are not well understood. Adverse health impacts may be expected to be higher in metropolitan areas that are densely populated. Particularly affected are residents nearby gas stations who spend significant amounts of time at home as compared to those who leave their home for work because of the



longer period of exposure. Similarly affected are individuals who spend time close to a gas station, e.g., in close by businesses or in the gas station itself. Of particular concern are children who, for example, live nearby, play nearby, or attend nearby schools, because children are more vulnerable to hydrocarbon exposure.”

A study published in 2021 (<https://www.ncbi.nlm.nih.gov/pmc/articles/PMC8172828/>) documented that adverse health are increased when a neighborhood is near multiple gas stations.

Idling engines, particularly those in large diesel trucks, emit a large quantity of particulates into the local atmosphere. These particulates can pose a significant health risk for those living near convenience store/truck stops.

Control Measures Do Not Resolve Health Threat

The two most common control measures are Stage II Vapor Recovery and Onboard Refueling Vapor Recovery (ORVR). A decade ago most gas pump nozzles were designed to capture vapors released during refueling. The vapors were then sent to the 10,000- to 20,000-gallon underground tanks where gasoline is stored. These Stage II vapor recovery systems were phased out beginning in 2012 as a result of the widespread use of [Onboard Refueling Vapor Recovery](https://en.wikipedia.org/wiki/Onboard_refueling_vapor_recovery) (https://en.wikipedia.org/wiki/Onboard_refueling_vapor_recovery) (ORVR) systems.

As the name implies, Onboard Refueling Vapor Recovery systems are built into new cars. The system captures vapors during refueling which are then stored in canisters within the vehicle. A study published in February, 2020 (<https://www.ncbi.nlm.nih.gov/pmc/articles/PMC7020915/>), examined the effectiveness of Onboard Refueling Vapor Recovery systems. The researchers found that 88% of vehicles monitored released vapors during refueling despite the presence of Onboard Refueling Vapor Recovery systems.

While the 2020 study may raise a question about health risks to consumers pumping gas, a 2021 study (<https://www.mdpi.com/1660-4601/18/4/1872/pdf>) found that this was not an issue. The researchers found that consumers filling their vehicles **under normal conditions** were not exposed to sufficient benzene **from filling alone** to pose a significant health risk. However, the cumulative effect of benzene released during fueling and from underground storage tank vents remains a cause for concern for those living, working or learning nearby.

The unfortunate conclusion from these studies is that we cannot rely upon controls required for new gas stations to resolve the health and safety threat to those who living in the vicinity of a proposed gas station.

The photo on the left below shows the pipes that vent vapors from underground gasoline storage tanks to the atmosphere. The middle and far right photos show control measures that can filter pollutants carried in the vent pipes. These measures are seldom seen outside of California. And, unfortunately, it is uncertain whether these and other control measures reliably reduce benzene releases sufficiently to safeguard the health of nearby residents.



<https://i0.wp.com/ceds.org/wp-content/uploads/2021/04/voccontrols.jpg?ssl=1>

Historic Resource Impacts

A historic resource may include a building or place where a significant event took place or an eminent figure once resided. The resource could also be an area, such as a Native American settlement. The event or building could date from just over 50 years ago to thousands of years past.

The goal of historic preservation professionals is to safeguard the setting of the resource from factors which might detract from one's ability to understand what makes it significant. Of course there are few historic resources which would be compatible with a convenience store. But then there are exceptions, such as the "convenience stores" called "gift shops" which are present in many visitor centers.

Generally, a convenience store should not be located within view of a historic resource. In some situations this may include not only the resource proper but the access road too. Frequently, those wishing to locate a potentially incompatible facility near a historic resource will be required to prepare a sightline. As the name implies, the sightline is drawn from the most visible part of a proposed store to various points at the historic resource. The analysis shows whether hills, buildings or other features would block the store from view.

Lighting Impacts

Lighting is essential to convenience store [safety](#) (<http://www.osha.gov/Publications/osha3153.pdf>) and profitability. We're less likely to patronize a poorly lit store while criminals find this inviting. But too much lighting and area residents may suffer glare in their bedrooms or lose their view of the nighttime sky.

There's a phenomenon known as ratcheting where one business installs bright lights. The new lights cause nearby establishments to look darker than before, so they install brighter lights and on the upward spiral goes. Ratcheting can greatly increase light trespass impacts to area residents.

Fortunately new LED lights and other approaches can make a convenience store safe and attractive. The lighting should be fully shielded and follow the latest recommendations of the [Illuminating Engineering Society of North America](https://www.ies.org/) (IESNA) along with those of the [International Dark-Sky Association](http://www.darksky.org/our-work/lighting/public-policy/lighting-ordinances/outdoor-lighting/).

Noise

All of us who have taken our cars in for service are familiar with the many loud noises generated by repair facilities. Tire air guns produce a noise level of 104 dBA and the air chisels used in body shops emits 112 dBA (<http://multimedia.3m.com/mws/media/8885530/noise-navigator-sound-level-hearing->



protection-database.pdf). An accelerating diesel truck emits 114 dBA and even 100 dBA while idling (<http://multimedia.3m.com/mws/media/8885530/noise-navigator-sound-level-hearing-protection-database.pdf>). Make it a late-night or all-night establishment and you have a use which definitely does not belong near homes.

So how close is too close? CEDS recommends a minimum separation of 300 feet between homes and late-night/all-night stores. However, a site-specific noise analysis may show a lesser setback will adequately protect area homes. Such an analysis should distinguish between rural and urban settings. A nighttime noise level of 55 dBA may be OK in a city or suburb while 45 dBA is more appropriate for rural areas.

Nutrition & Food Swamps

Food Swamps are areas with a number of fast food restaurants, convenience stores, and other establishments offering few healthy, nutritional foods. The following more precise definition comes from the [Johns Hopkins Center for a Livable Future](https://clf.jhsph.edu/) (<https://clf.jhsph.edu/>) adopted the definition...

“A food swamp is a place where unhealthy foods are more readily available than healthy foods. (Unhealthy foods include those that are dense in calories, high in sodium, and high in sugar.) Food swamps typically exist in food deserts, where there are limited options for purchasing healthy foods. For example, a food swamp might be an area where there is a predominance of small corner stores and carry-outs, but no healthy food sources, such as supermarkets or farmers markets.”

The USDA (<https://www.ers.usda.gov/data-products/food-access-research-atlas/documentation/>) defines a *food desert* as:

- Urban Areas – a supermarket is not present within one mile, and
- Rural Areas – it's ten miles or more to the nearest supermarket.

Following are a couple of other examples of adverse health effects associated with convenience stores.

- Poor, inner city neighborhoods tend to lack access to supermarkets with convenience stores and fast food establishments serving as poor substitutes. An [East Harlem study](https://www.ncbi.nlm.nih.gov/pmc/articles/PMC2770899/) (<https://www.ncbi.nlm.nih.gov/pmc/articles/PMC2770899/>) found that children with a



convenience store on their block were significantly more likely to have a high Body Mass Index.

- A higher rate of obesity was associated with the presence of [convenience stores within a 10-minute walk of a school](#) (<https://www.ncbi.nlm.nih.gov/pmc/articles/PMC3041661/pdf/1471-2458-11-68.pdf>).
- A California study (<https://www.ncbi.nlm.nih.gov/pmc/articles/PMC1448595/>) noted a 50% increase in smoking among adolescents exposed to tobacco advertising during weekly visits to small grocery, convenience or liquor stores;

Adding a convenience store lacking vegetables, fruit and other healthy choices to a food desert area or one with a number of existing “food swamp” establishments, would exacerbate adverse health effects. A convenience store could be healthier if it were located in an area accessible by walking or bicycling.

Predatory Pricing

Many establishments use low gas prices to attract customers into the store. Profit margins are generally much higher on the goods sold in the store when compared to gas sales. National chains can purchase and sell gas at much lower prices when compared to smaller (Mom and Pop) stores.

It is not uncommon for the national chains to sell gas so low that it draws many customers away from existing stores. This is known as competition or predatory pricing depending upon whether you are the national chain or the Mom or Pop. However, once the competition goes out of business gas prices frequently rise. Some jurisdictions have laws against predatory pricing, but enforcement can be challenging.

How Do Gas Stations Affect Property Value

Do gas stations and convenience stores affect the value of nearby homes? While there appears to be little independent research into this question, here are a couple of articles giving an anecdotal indication:

- [Cemeteries, highways, gas stations](https://www.lowestrates.ca/blog/homes/cemeteries-highways-gas-stations-can-decrease-property-value) (<https://www.lowestrates.ca/blog/homes/cemeteries-highways-gas-stations-can-decrease-property-value>): “Here’s what decreases your property value: Gas stations, railroad tracks, hydro towers, power stations, and industrial areas —

proximity to any of these things definitely won't help improve your home value, since they can generate and/or attract odors or other substances that could affect your air quality."

- [10 Industries That Diminish Property Values The Most](https://housely.com/industries-that-diminish-property-values-the-most/) (<https://housely.com/industries-that-diminish-property-values-the-most/>): "2. Convenience Store With Gas Station. People will be driving in and out of your intersection, hanging out at the property, and buying lots of lotto tickets, cigarettes, and beer when they gas up. Although handy, these shops do nothing to help property values and hurt them significantly according to Zillow.com. Although the realtors questioned on the site did not have exact statistics, common sense would show that the increase in robberies, accidents, traffic and pedestrians would add up to decreased property value. Still, many gas stations with mini-markets are springing up like wildfire."

In the past Federal Housing Administration (FHA) insured mortgages were not available for properties located within 300 feet of tanks capable of storing 1,000 gallons or more of gasoline or other flammable-explosive materials. However, FHA recently [amended this restriction](https://www.hud.gov/sites/dfiles/OCHCO/documents/4000.1hsg-112021.pdf) (<https://www.hud.gov/sites/dfiles/OCHCO/documents/4000.1hsg-112021.pdf>) so it only applies to aboveground storage tanks. Since essentially all gas stations have below ground tanks, the FHA restriction does not apply to gas stations.

The following excerpt from a [U.S. Department of Housing & Urban Development document](https://www.hud.gov/sites/documents/stations.pdf) (<https://www.hud.gov/sites/documents/stations.pdf>) shows that while gas station fires-explosions may not be common, they do occur often enough to be a concern for nearby residents:

"During the five-year period of 2004-2008, NFPA [National Fire Protection Association] estimates that U.S. fire departments responded to an average of 5,020 [fires] in service or gas station properties per year. These fires caused an annual average of two civilian deaths, 48 civilian fire injuries, and \$20 million in direct property damage."

A [Georgia study](https://www.gamls.com/images/jonwiley.pdf) (<https://www.gamls.com/images/jonwiley.pdf>) noted that commercial development in general can depress residential property value when first completed then the effect diminishes with time. However, this study examined homes located 0.5- to 1.0-miles distant. [Several studies](http://swcr.wtamu.edu/sites/default/files/Data/47-62-11-24-1-PB.pdf) (<http://swcr.wtamu.edu/sites/default/files/Data/47-62-11-24-1-PB.pdf>) documented that commercial uses can depress nearby property value but not at a

distance. In King County, Washington (<http://www.issueab.org/resources/4941/4941.pdf>) commercial uses were found to depress residential properties within 300 feet but not beyond 1,000 feet or so.

River, Lake, Well-Water & Other Aquatic Resource Impacts

Because of the high traffic volume and refueling, convenience stores-gas stations pose an unusually severe threat to ground and surface waters. Adding vehicle servicing facilities increases the threat. One study (http://owl.cwp.org/mdocs-posts/elc_pwp2/) found that contaminant levels in convenience store-gas station runoff were 5- to 30-times higher when compared to residential runoff. In another study

([https://nepis.epa.gov/Exe/ZyNET.exe/30002DBO.TXT?](https://nepis.epa.gov/Exe/ZyNET.exe/30002DBO.TXT?ZyActionD=ZyDocument&Client=EPA&Index=2000+Thru+2005&Docs=&Query=&Time=&EndTime=&SearchMethod=1&TocRestrict=n&Toc=&TocEntry=&QField=&QFieldYear=&QFieldMonth=&QFieldDay=&IntQFieldOp=0&ExtQFieldOp=0&XmlQuery=&File=D%3A%5Czyfiles%5CIndex%20Data%5C00thru05%5CTxt%5C00000002%5C30002DBO.txt&User=ANONYMOUS&Password=anonymous&SortMethod=h%7C-&MaximumDocuments=1&FuzzyDegree=0&ImageQuality=r75g8/r75g8/x150y150g16/i425&Display=p%7Cf&DefSeekPage=x&SearchBack=ZyActionL&Back=ZyActionS&BackDesc=Results%20page&MaximumPages=1&ZyEntry=1&SeekPage=x&ZyPURL)

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[https://nepis.epa.gov/Exe/ZyNET.exe/901X0A00.TXT?](https://nepis.epa.gov/Exe/ZyNET.exe/901X0A00.TXT?ZyActionD=ZyDocument&Client=EPA&Index=2000+Thru+2005&Docs=&Query=&Time=&EndTime=&SearchMethod=1&TocRestrict=n&Toc=&TocEntry=&QField=&QFieldYear=&QFieldMonth=&QFieldDay=&IntQFieldOp=0&ExtQFieldOp=0&XmlQuery=&File=D%3A%5Czyfiles%5CIndex%20Data%5C00thru05%5CTxt%5C00000011%5C901X0A00.txt&User=ANONYMOUS&Password=anonymous&SortMethod=h%7C-&MaximumDocuments=1&FuzzyDegree=0&ImageQuality=r75g8/r75g8/x150y150g16/i425&Display=p%7Cf&DefSeekPage=x&SearchBack=ZyActionL&Back=ZyActionS&BackDesc=Results%20page&MaximumPages=1&ZyEntry=1&SeekPage=x&ZyPURL) researchers detected several compounds in vehicle repair facility runoff which were probable cancer-causing agents. These findings have prompted a number of states and local governments to list vehicle repair facilities as *stormwater hotspots*

([https://nepis.epa.gov/Exe/ZyNET.exe/901X0A00.TXT?](https://nepis.epa.gov/Exe/ZyNET.exe/901X0A00.TXT?ZyActionD=ZyDocument&Client=EPA&Index=2000+Thru+2005&Docs=&Query=&Time=&EndTime=&SearchMethod=1&TocRestrict=n&Toc=&TocEntry=&QField=&QFieldYear=&QFieldMonth=&QFieldDay=&IntQFieldOp=0&ExtQFieldOp=0&XmlQuery=&File=D%3A%5Czyfiles%5CIndex%20Data%5C00thru05%5CTxt%5C00000011%5C901X0A00.txt&User=ANONYMOUS&Password=anonymous&SortMethod=h%7C-&MaximumDocuments=1&FuzzyDegree=0&ImageQuality=r75g8/r75g8/x150y150g16/i425&Display=p%7Cf&DefSeekPage=x&SearchBack=ZyActionL&Back=ZyActionS&BackDesc=Results%20page&MaximumPages=1&ZyEntry=1&SeekPage=x&ZyPURL)

[ZyActionD=ZyDocument&Client=EPA&Index=2000+Thru+2005&Docs=&Query=&Time=&EndTime=&SearchMethod=1&TocRestrict=n&Toc=&TocEntry=&QField=&QFieldYear=&QFieldMonth=&QFieldDay=&IntQFieldOp=0&ExtQFieldOp=0&XmlQuery=&File=D%3A%5Czyfiles%5CIndex%20Data%5C00thru05%5CTxt%5C00000011%5C901X0A00.txt&User=ANONYMOUS&Password=anonymous&SortMethod=h%7C-](https://nepis.epa.gov/Exe/ZyNET.exe/901X0A00.TXT?ZyActionD=ZyDocument&Client=EPA&Index=2000+Thru+2005&Docs=&Query=&Time=&EndTime=&SearchMethod=1&TocRestrict=n&Toc=&TocEntry=&QField=&QFieldYear=&QFieldMonth=&QFieldDay=&IntQFieldOp=0&ExtQFieldOp=0&XmlQuery=&File=D%3A%5Czyfiles%5CIndex%20Data%5C00thru05%5CTxt%5C00000011%5C901X0A00.txt&User=ANONYMOUS&Password=anonymous&SortMethod=h%7C-&MaximumDocuments=1&FuzzyDegree=0&ImageQuality=r75g8/r75g8/x150y150g16/i425&Display=p%7Cf&DefSeekPage=x&SearchBack=ZyActionL&Back=ZyActionS&BackDesc=Results%20page&MaximumPages=1&ZyEntry=1&SeekPage=x&ZyPURL)

[https://nepis.epa.gov/Exe/ZyNET.exe/901X0A00.TXT?](https://nepis.epa.gov/Exe/ZyNET.exe/901X0A00.TXT?ZyActionD=ZyDocument&Client=EPA&Index=2000+Thru+2005&Docs=&Query=&Time=&EndTime=&SearchMethod=1&TocRestrict=n&Toc=&TocEntry=&QField=&QFieldYear=&QFieldMonth=&QFieldDay=&IntQFieldOp=0&ExtQFieldOp=0&XmlQuery=&File=D%3A%5Czyfiles%5CIndex%20Data%5C00thru05%5CTxt%5C00000011%5C901X0A00.txt&User=ANONYMOUS&Password=anonymous&SortMethod=h%7C-&MaximumDocuments=1&FuzzyDegree=0&ImageQuality=r75g8/r75g8/x150y150g16/i425&Display=p%7Cf&DefSeekPage=x&SearchBack=ZyActionL&Back=ZyActionS&BackDesc=Results%20page&MaximumPages=1&ZyEntry=1&SeekPage=x&ZyPURL) USEPA guidance advises caution with regard to allowing hotspot runoff to infiltrate the soil, particularly in areas where drinking water is obtained through wells. The use of highly-effective stormwater Best Management Practices to treat repair facility runoff before it is infiltrated into the soil.



Fuel storage tanks and pipelines pose another source of contamination, though the design of both has improved dramatically over the past couple of decades. Spillage at the pump is a more likely source of fuel release into nearby waterways. In fact, [Johns Hopkins University researchers \(https://www.sciencedaily.com/releases/2014/10/141007103102.htm\)](https://www.sciencedaily.com/releases/2014/10/141007103102.htm) found that an average of 40 gallons of gasoline is spilled at a typical gas station per year at the pumps. The JHU researchers also found that a significant portion of the spilled gasoline can migrate through the concrete pads at many fueling stations.

So how far should a gas station be from a well or surface waters to reduce the likelihood of contamination to a reasonable level? Well, the key question is actually how far can one anticipate that a plume of spilled gasoline will travel underground. One [review of scientific studies \(http://www.waterboards.ca.gov/ust/policy/techjust071211.pdf\)](http://www.waterboards.ca.gov/ust/policy/techjust071211.pdf) of plume travel indicated that the 90th percentile distance is 400 feet. Add another 100 feet for installing grout curtains or other containment measures and a gas station should be no closer than 500 feet to a well, wetland, spring, stream, river, pond, lake, reservoir or tidal waters.

[Best Management Practices \(http://www.ced-s.org/aquatic/#he\)](http://www.ced-s.org/aquatic/#he) (BMPs) are available that reduce the probability of contamination. One [study \(http://citeseerx.ist.psu.edu/viewdoc/download?doi=10.1.1.365.8710&rep=rep1&type=pdf\)](http://citeseerx.ist.psu.edu/viewdoc/download?doi=10.1.1.365.8710&rep=rep1&type=pdf) indicated [bioretention \(https://ceds.org/wp-content/uploads/2019/06/FS-RainGarden.pdf\)](https://ceds.org/wp-content/uploads/2019/06/FS-RainGarden.pdf) facilities could remove 80% – 95% of hydrocarbons in synthetic stormwater runoff. But even the most effective BMPs may not be enough if a store or station adjoins highly sensitive waters. For further suggestions see our [aquatic resource impact assessment webpage \(https://ceds.org/aquatic/\)](https://ceds.org/aquatic/).

Traffic

The [CEDS Traffic webpage \(https://ceds.org/traffic/\)](https://ceds.org/traffic/) provides detailed guidance on evaluating impacts to street and highway safety. In this section we offer guidance on some of the issues we've encountered while evaluating numerous convenience stores and gas station proposals. Due to space constraints we've only listed the more common issues.

As a rough rule of thumb, each proposed pump at a gas station generates about 100 to 130 trips per day. By "pump" we mean fueling position. The convenience store will generate 800 to 1,200 trips per day per 1,000 square feet. So a 2,000 square foot store with ten pumps would generate around 3,150 trips per day. We provide these numbers so you can compare them

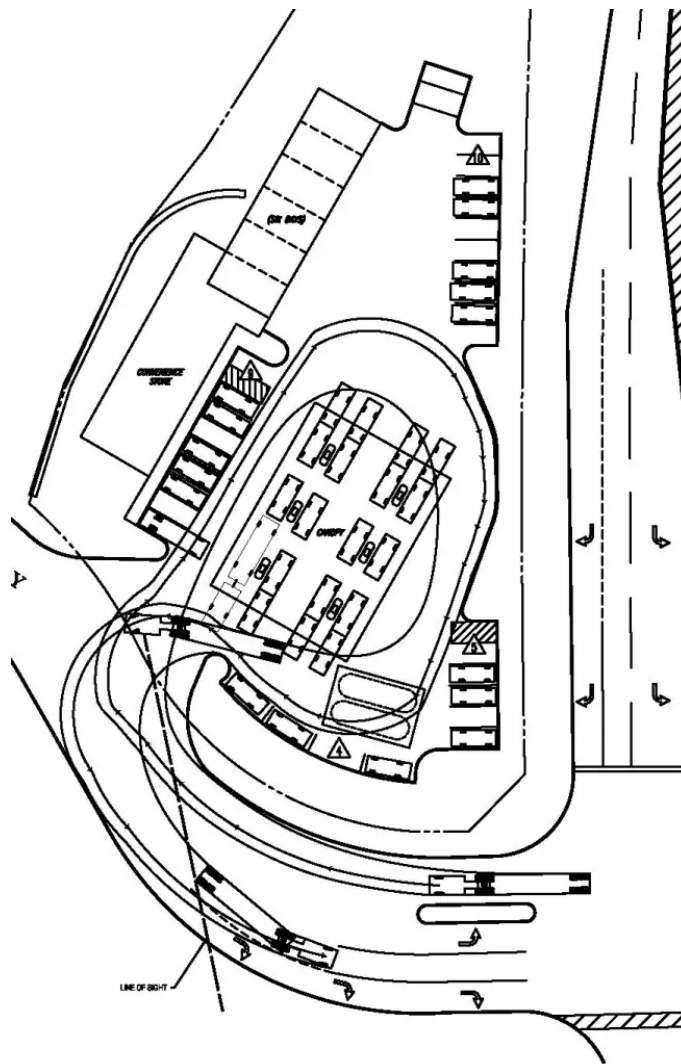


with those for a proposed store to see if they are in the right range. However, the standard reference is ITE's Trip Generation (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>) manual.

Of these trips, most result from those who would be passing by the gas station anyway. In other words, a typical new gas station does not add to the volume of traffic on a given road. The exception is a very large establishment known as a *Super Convenience Market/Gas Station* (ITE Land Use Code 960) where 24% of trips come from drivers who do not normally pass by (<https://ceds.org/wp-content/uploads/2021/08/Pass-By-Trips-Convenience-Stores.pdf>). One document (<https://wisconsin.gov/dtsdManuals/traffic-ops/programs/analysis/gasstation-interim.pdf>) described a *Super Convenience Market/Gas Station* as: "having a convenience store with a gross floor area of at least 3,000 square feet and have 10 or more vehicle fueling positions."

With regard to safety, customers should not have to walk across vehicle travel lanes. Instead ample parking should be provided along the front and sides of the store. Yes, many customers will leave their car at the pump and walk to the store. But, again, this should be kept to a minimum by creating lots of parking spaces next to the store.

Delivery trucks, particularly long tractor-trailers, must be able to maneuver without encroaching upon parking spaces, fueling positions or other features. Below is an exhibit from one of our cases involving an unusually small gas station site. With this exhibit our traffic engineer showed that large delivery trucks would strike cars at several fueling positions when attempting to navigate around the site. This issue was one of several that prompted the Board of Appeals to deny a special exception for this project.



(<https://i0.wp.com/ceds.org/wp-content/uploads/2019/05/TRG-Turning-Radius-Exhibit?ssl=1>)

With regard to frequency of fuel deliveries to a gas station, one industry expert wrote:

“It all depends on the volume the station sells. The typical fuel truck carries between 8,700 to 9,000 gallons. If you sold 100,000 gallons a month, you’d probably take 12 loads of gas a month or almost a load every couple of days. You never want to run out, so there’s always going to be at least a couple thousand gallons in each tank. 9,000 gallons per truck x 12 = 108,000 gallons. If you sold 100,000 gallons, you’d be maintaining 2,000 to 3,000 gallons per day per tank. Hypermarketers like Sheetz, WaWa and Royal Farms who sell 400,000+ gallons or more per month may get 2 deliveries a day. Costco or Walmart who may do closer to 1 million gallons a month may need almost 4 truck loads a day.”

Visual Impacts

In upscale areas, some convenience stores are almost attractive. But few homeowners would chose a convenience store as a prominent item in their viewshed. The problem is compounded if blighting forces owners to cut back on store upkeep or to close.

Well vegetated perimeters and other visual buffering methods can do much to reduce the impact. The buffer must be dense enough to achieve nearly 100% opacity. Dumpsters should be well screened with fencing or other methods. Trash receptacles must be regularly emptied. Of course local Code Enforcement must be up to the job of keeping store owners in compliance. For further guidance on this issue visit the CEDS webpage: [Preserving Scenic Views From Your Home \(https://ceds.org/view/\)](https://ceds.org/view/).

Since Gas Station Numbers are Decreasing, Let's Guide New Ones to Low-Impact Sites

The number of gas stations in the U.S. has been declining. [In 1994, there were 202,800 gas stations across the nation, but by 2012 the number was down to 156,065.](#)

[\(https://www.convenience.org/Topics/Fuels\)](https://www.convenience.org/Topics/Fuels) The decline can be attributed to cars getting more miles per gallon, thus needing less gas, as well as new stations adding many more pumps. The decline is also due to supermarkets, big-box stores and others using cheap gas outside to draw customers inside.

The pace of decline is likely to accelerate in the near future thanks to the switch to electric vehicles. The following figure, from the [July 2021 issue of the LUST \(Underground Storage Tank\) Line Bulletin \(https://neiwpc.org/wp-content/uploads/2021/07/LUSTLine-89_FINAL.pdf\)](#) projects the rather dramatic, anticipated rate at which gasoline consumption will decline in the U.S.

Declining Gasoline Consumption

This figure appeared in the July 2021 (#89) issue of the LUSTLine Bulletin

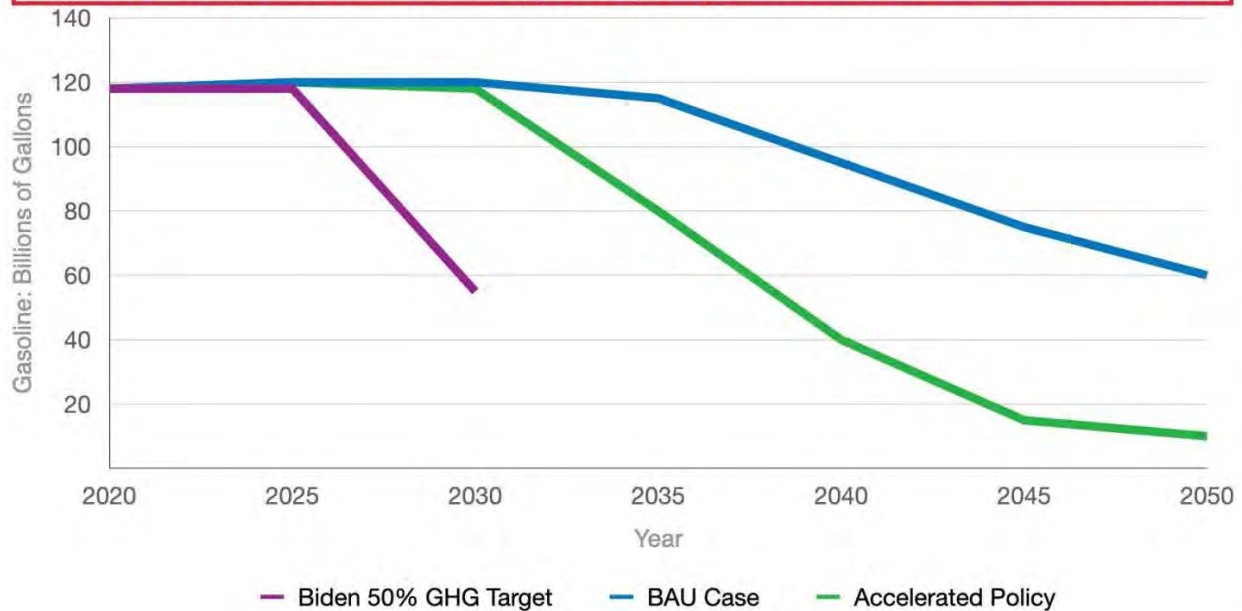


Figure 1: The blue line is a business-as-usual estimate with EV policy support remaining at traditional levels. The green line shows a decline in gasoline consumption caused by strong EV policy support and strong consumer demand for EVs. Here, gasoline consumption begins a sharp decline beginning in about 2027, falling by half in 2035 relative to 2020, and to almost nothing by 2045. The purple line shows gasoline consumption falling consistent with President Biden's 2030 greenhouse gas reduction target to cut carbon emissions 50% by 2030.² (Note: The Biden Climate Plan does not specify what percentage of emissions cuts come from gasoline. The purple line assumes that the cuts in gasoline-related emissions are consistent with overall emissions cuts.)

(<https://i0.wp.com/ceds.org/wp-content/uploads/2022/03/Declining-gas-comsumption-figure-LUST-Line-Bulletin.jpg?ssl=1>)

Given that there will be ever fewer gas stations, decision-makers should guide new ones to low-impact locations at least 500 feet from the nearest home and a thousand feet from a school. Frequently local elected officials will ask our clients if these public health safety separation distances will preclude all new gas stations. We then provide our clients with an analysis such as those at the following webpages:

- Myrtle Beach, SC (<https://ceds.org/mbhnc/#safety>), and
- Carmel, IN (<https://ceds.org/chna/#new>)

Frequently we find that 50% to 70% of likely new gas stations sites within a town, city or county could meet the 500- to 1,000-foot safety zone.

Assessing Gas Station Need

Over the years CEDS has researched the effects of many proposed convenience stores, gas stations and vehicle repair facilities. With regard to gas stations, the market area usually extends 0.5- to 1.5-miles. It takes about 3,000 to 6,000 people living or working within the market area to support a single gas station.

CEDS has developed a spreadsheet for determining if a market area will support a proposed gas station. Normally we would post the spreadsheet on a webpage like this along with instructions showing how you can run your own analysis. Unfortunately we've found that each area is unique and requires a fair bit of experience to develop an accurate analysis. But you can get a rough idea of need by seeing if 3,000 to 6,000 people live or work within a half to a mile and a half from the site. If you wish CEDS can run the analysis for you, but we would need to charge a modest fee.

Many local zoning ordinances allow planning commissions and other decision-makers to consider need when asked to act on a request to build another gas station. Need should also be factored into a decision about a zoning change. CEDS and our clients have convinced many decision-makers to deny approval for a poorly sited or badly designed project.

A question often asked in the context of need is *Why Are Gas Stations Often Located Next To Each Other?* The short YouTube video posted at the following link will explain why this happens: <https://www.youtube.com/watch?v=u4cKzGj58q4>
(<https://www.youtube.com/watch?v=u4cKzGj58q4>)

For guidance on how to research legal need requirements and decision-making precedents see Chapters 35 and 40 in our free 300-page book *How To Win Land Development Issues* (<https://ceds.org/publications/>). If you have any questions contact CEDS at 410-654-3021 or Help@ceds.org (<mailto:Help@ceds.org>).

Good & Bad Convenience Store-Station Locations

Given the impacts and corrective measures described above, an optimum convenience store-gas station location would have the following characteristics:

- At least 500 feet from the nearest home
(<https://www.sciencedirect.com/science/article/pii/S0048969718337549>); or



- Buffered so the store cannot be seen (<https://ceds.org/view/>) or heard (<https://ceds.org/noise/>) from the nearest home;
- To preserve public health (<https://www.sciencedirect.com/science/article/pii/S0048969718337549>) a minimum of 500 feet from homes and 1,000 feet from schools;
- Not within view of historic resources (<https://ceds.org/growthplans/#historic>);
- At least 500 feet (<https://www.waterboards.ca.gov/ust/policy/techjust071211.pdf>) from wells, springs, streams, reservoirs or other highly sensitive ground or surface water resources;
- Accessible by foot and bike as well as cars;
- Convenience stores should be located at least a 10-minute walk (0.5 miles) from schools (<https://ceds.org/gasstation/#food>);
- Located in a downtown or neighborhood commercial area;
- Well lit, but not to the point of causing light trespass (<https://ceds.org/lighttrespass/>) into nearby homes;
- In an area with many passersby and few escape routes for criminals (<https://ceds.org/alcohol/>); and
- In an area where the market can accommodate a new store (<https://ceds.org/gasstation/#need>) without putting existing ones out of business.

Preventing Impacts Through Zoning

Zoning is used by many local governments to guide growth to locations where benefits are maximized with minimal harm to quality of life. Zoning ordinances also contain height limits, separation distances, use restrictions and other requirements to further enhance compatibility. Ensuring that your local zoning ordinance contains these safeguards is the best way to minimize the possibility of a new gas station impacting a neighborhood.

It is difficult to envision a situation where a convenience stores and gas station would be a compatible use in or adjacent to a residential area. This is why most zoning ordinances restrict these uses to commercially-zoned properties. A number of localities also require a permit known as a [special exception, conditional use or special use permit](https://www.ceds.org/se.html) (<https://www.ceds.org/se.html>). The permitting process includes a public hearing to determine if the use will cause excessive impacts.

Zoning Examples

Following are examples from around the U.S. of various safeguards with regard to the public health effects of air pollutants (<https://ceds.org/gas-stations-convenience-stores/#health>) released from new gas stations:

- Carmel, IN:
(<https://www.carmel.in.gov/home/showpublisheddocument/19535/63773890188950000>) On September 20, 2021 the City of Carmel amended Section 5.65, of the Unified Development Ordinance, to increase the separation between homes and gas pumps-storage tanks from 80 feet to 500 feet.
- Montgomery County, MD
(https://codelibrary.amlegal.com/codes/montgomerycounty/latest/montgomeryco_md_zone2014/0-0-0-2044):
(<http://www.montgomeryplanning.org/development/zoning/documents/FULLCh59APPROVEDclean3.5.14.pdf>) Any Filling Station facility designed to dispense a minimum of 3.6 million gallons per year must be located at least 500 feet from the lot line of any public or private school, or any park, playground, day care center, or any outdoor use categorized as a civic and institutional use or a Recreation and Entertainment use. *See the note below regarding the 3.6 million gallon per year criteria.*
- Borough of Bergenfield, NJ: (<https://ecode360.com/BE1383>) Location of exits and entrances. No gas station, or vehicular repair service shop shall be located within 300 feet of the following uses when located along the same street or the same block: schools, playgrounds, churches, hospitals, libraries, institutions for dependent children, or other similar places of public assembly.
- Hamilton County, Indiana:
(https://library.municode.com/in/hamilton_county/codes/zoning?nodeId=ORNU3-19-90_ART15SPUS) No portion of structure shall be located within 300 feet of gasoline pumps, underground fuel storage tanks, or other flammable or explosive materials. The “structure” includes: commercial care facility for children, the elderly and the handicapped, nursery school, pre-school, nursery school or day school.
- Clarkston, Georgia:
(https://library.municode.com/ga/clarkston/codes/code_of_ordinances?nodeId=PTIICOOR_CH9.5GASEST) There shall be a minimum distance of five hundred (500) feet measured from the nearest points of lot boundaries between a proposed gasoline service station and any existing gasoline service station or between a proposed

gasoline service station and any lot occupied by a church, hospital, school, or other place of public assembly.

- Harper Woods, Michigan: (https://library.municode.com/mi/harper_woods/codes/code_of_ordinances?nodeId=COOR_CH12LIPEBURE_ARTIIGAST_S12-79DR) Gasoline or service stations shall not be operated, existing stations excepted, within five hundred (500) feet from places of public assembly, nor shall any gasoline service station be located, existing stations excepted, within seven hundred fifty (750) feet measured along the same side of the street, to an existing gasoline service station.
- Indian Rocks Beach, Florida: (https://library.municode.com/fl/indian_rocks_beach/codes/code_of_ordinances?nodeId=SPBLADERE_CH110ZO_ARTIVSUDIRE_DIV12SESTPUGA_S110-495LOGAPUSEFA) A gasoline service station shall be located only within a B business district and shall not be located closer than 1,000 feet to the grounds of any school, public recreation area or church. Distance shall be measured from the property lines at the nearest points.
- Jupiter, Florida: (https://library.municode.com/fl/jupiter/codes/code_of_ordinances?nodeId=SPBLADERE_CH27ZO_ARTXISUDIRE_DIV8CHCAFA_S27-2100WHPE) In order to minimize vehicular and pedestrian conflicts and other safety hazards, no day care, preschool or school facility shall be located in any of the above districts within 400 feet of any gasoline filling station or gasoline service station, except in the Mixed Use Development District (MXD), where there shall be a minimum of 100 feet separation required for day care and preschool facilities. Such distance shall be measured from the property line of the station to the nearest building of the day care, preschool or school facility.
- Livonia, Michigan: (https://library.municode.com/mi/livonia/codes/code_of_ordinances?nodeId=CO_TIT5BUTALIRE_CH5.36GASESTTOOP) No gasoline service station, doing business at retail or wholesale, shall hereafter be constructed or opened for business within a radius of one hundred (100) feet of any school building, public park or playground, church, theater, or any other public place where the public frequently gathers in large numbers; provided, that this section shall not extend to any gasoline station operating or in the process of being constructed at the time of the adoption of the ordinance codified in this chapter. (Prior code § 4-1405)
- Marysville, Michigan: (https://library.municode.com/mi/marysville/codes/code_of_ordinances?nodeId=CO_TITVIIBUTR_CH76GAST_S7.107HO) No gasoline service station shall

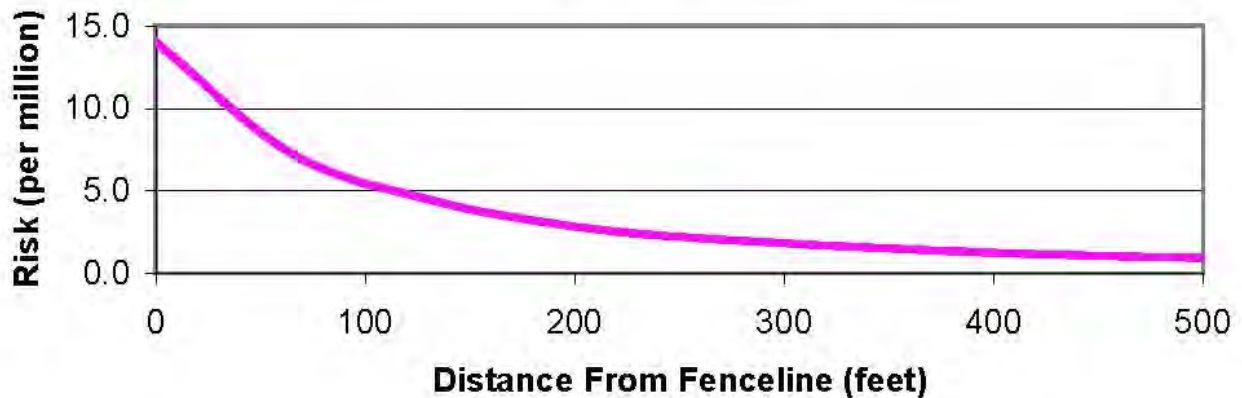
hereafter be constructed or opened for business within a radius of 400 feet of any school building or within a radius of 200 feet of any public park or playground, church, theater, or any other business place where the public frequently gathers in large numbers, nor in any location where deemed by the city council, by reason of traffic conditions or fire or explosion hazard, a gasoline service station would imperil the public safety.

- **Moody, Alabama:** (https://library.municode.com/al/moody/codes/code_of_ordinances?nodeId=COOR_APXAZO_ARTVIIIISPEXUS_S8.00CE) No gasoline service station shall be located within a radius of 300 feet from a public assembly center, including, but not limited to: places of worship, community centers, hospitals, school, day care centers and similar uses in which large numbers of people are concentrated on a temporary or permanent basis.
- **Pleasant Grove, Alabama:**
(https://library.municode.com/al/pleasant_grove/codes/code_of_ordinances?nodeId=PTIICO_CH98ZO_ARTIVSURE_DIV3SPUSRE_S98-605STMIUNMIOP) No gasoline service station shall hereafter be located and no property shall be used as such closer than 500 feet from places of public assembly, nor shall any gasoline service station be located closer than 750 feet, measured along the same side of the street, to an existing gasoline service station without the express approval of the building inspector and without the express consent of the planning board.

3.6 Million Gallons Per Year & 300-Foot Insufficient

References to 3.6 million gallons per year and 300-foot setbacks appear to derive from the 2005, California Air Resources Board *Air Quality and Land Use Handbook: A Community Health Perspective* (<https://www.arb.ca.gov/ch/handbook.pdf>). Handbook Figure 1-6 below shows how cancer risk diminishes with distance from a gas station pumping 3.6 million gallons per year.

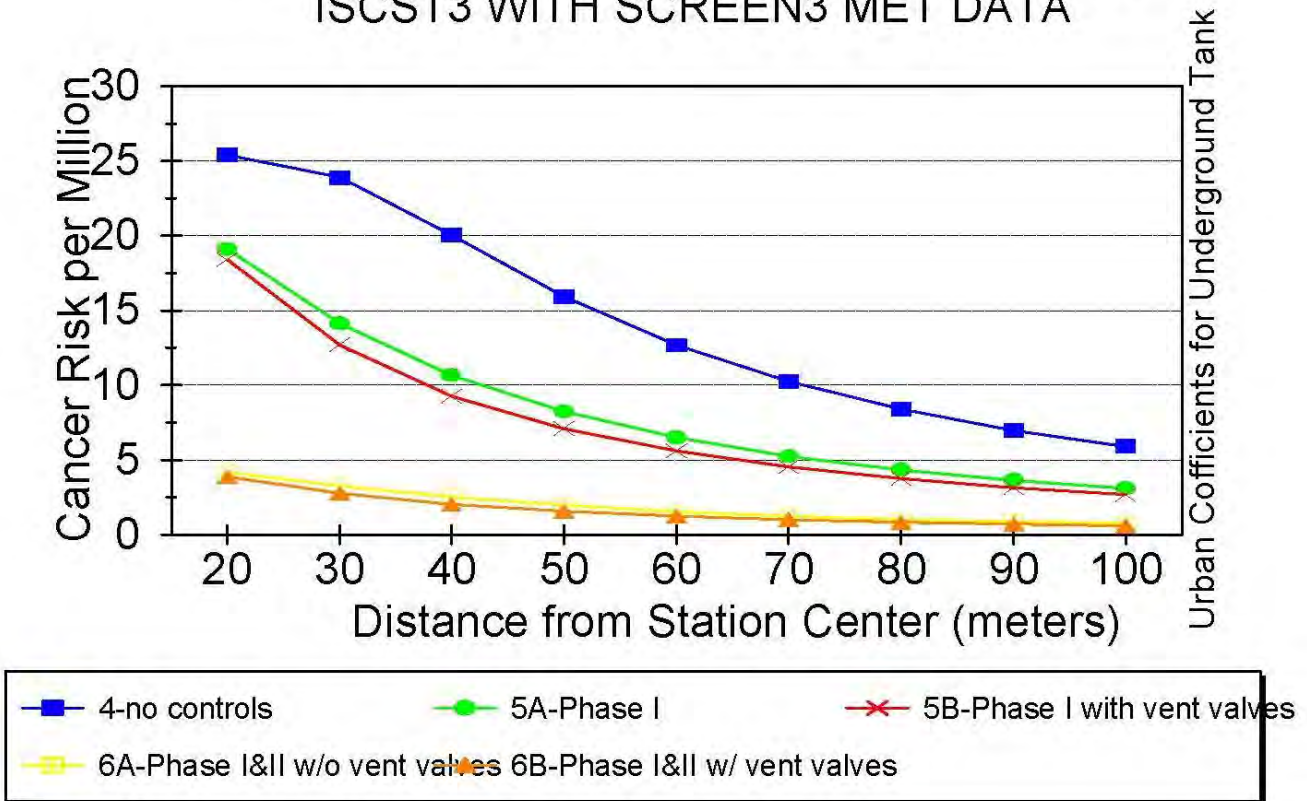
Figure 1-6
Gasoline Dispensing Facility Health Risk
for 3,600,000 gal/yr throughput



The relationship shown in the graph above may no longer be valid for the following reasons. First, a number of studies have been published since 2005. These studies show that the most harmful compound – benzene – has been detected more than 500 feet from a gas station. Second, California has what are arguably the most comprehensive gas station air pollution control requirements in the U.S. However, it has not been proven that these measures resolve the adverse health effects of gas station benzene emissions.

The following graph is from the California Air Resources Board *Gasoline Service Station Industrywide Risk Assessment Guidelines* (<https://www.arb.ca.gov/ab2588/rrap-iwra/GasIWRA.pdf>). This graph is based on the quantity of gas pumped by most stations – 1 million gallons per year **not 3.6**. New gas stations outside of California might have Phase I controls. The graph below shows that with Phase I controls an unacceptably high risk of increased cancer cases persists beyond 300 meters (328 feet).

Cancer Risk - 1,000,000 gal/yr thruput ISCST3 WITH SCREEN3 MET DATA



All but older vehicles have [Onboard Refueling Vapor Recovery](#)

(https://en.wikipedia.org/wiki/Onboard_refueling_vapor_recovery) (ORVR) systems. As the name implies, Onboard Refueling Vapor Recovery captures vapors during refueling. The vapors are then stored in canisters within the vehicle.

A study published in February, 2020

(<https://www.ncbi.nlm.nih.gov/pmc/articles/PMC7020915/>), examined the effectiveness of Onboard Refueling Vapor Recovery systems. The researchers found that 88% of vehicles monitored released vapors during refueling despite the presence of Onboard Refueling Vapor Recovery systems.

Minimum 500-Foot Public Health Safety Zone Needed

The research cited above indicates that the most reliable way to protect public health and safety from benzene and other harmful emissions is to guide new gas stations to sites where they will be at least 500 feet from residentially zoned properties, schools, and other locations where people live, learn or work. CEDS research frequently shows a third to half of potential

gas station sites can meet a 500-foot public healthy safety zone. In other words, adopting this safeguard allows us to gain the benefits of new gas stations without jeopardizing the health of our neighbors.

Examples of Other Safeguards

Here are examples of other safeguards:

- **New Hampshire:** (<https://deq.nc.gov/waste-management/dwm/ust/brochures-faqs/brochure-siting-and-secondary-containment/download>) DES's rules for the siting of UST (Underground Storage Tank) systems at new sites include the following setbacks:
 - 500' from public water supplies (PWSs)
 - 250' between gasoline USTs and private wells
 - 75' between any UST and surface water.
- **Citrus Heights, CA:** (<https://library.municode.com/search?statelid=5&clientid=933&searchText=No%20on-sale%20or%20off-sale%20liquor%20establishment%20shall%20be%20maintained%20within%20500%20feet&contentType=CODES>) Distance requirements. No on-sale or off-sale liquor establishment shall be maintained within 500 feet of any other on-sale or off-sale liquor establishment, or within 500 feet from the following "consideration points": Schools (public or private); Churches or other places of worship; Hospitals, clinics, or other health care facilities; and 4. Public parks and playgrounds and other similar uses.
- **Baltimore County, MD:** (https://library.municode.com/md/baltimore_county/codes/zoning_regulations?nodeid=ZONING_CODE_ART4SPRE_S405FUSEST_S405.3CODISPEX) A finding by the Zoning Commissioner of the presence of one abandoned fuel service station, as defined in Section 405.3, within a one-half-mile radius, or two such stations within a one-mile radius of the proposed fuel service station establishes that there is no need for the proposed use, unless rebutted to the Zoning Commissioner's satisfaction by market data.
- **East St. Louis, Illinois:** (https://library.municode.com/il/east_st._louis/codes/code_of_ordinances?nodeid=COOR_CH26BU_ARTIXGASESTGATI_DIV3GASEST_S26-621LONEST) All new gasoline service stations shall be located and constructed not less than 300 feet apart, and no new gasoline service station shall be built unless enclosed in a garage.
- **Ford Heights, Illinois:** (https://library.municode.com/IL/Ford_Heights/codes/Code_of_Ordinances?

nodeId=COOR_CH12BUBURE_ARTXIGA) It shall be unlawful for any person to locate, build, construct or maintain any public garage or gasoline filling station, the storage of filling tanks, pumps or devices of which are used for the purpose of storing, drawing off or discharging gasoline, oil or other volatile inflammable liquid, within 150 feet of any school, measured from the nearest point of the tank or filling or discharging device used in connection therewith, to the nearest point of any such building.

If you're concerned about a proposed establishment and your local zoning ordinance lack these safeguards, then consider asking local elected officials for an amendment. If a convenience store-gas station application has or is about to be submitted then consider asking that it and all other applications be put on hold while officials study the best way to update zoning requirements.



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5.

Planning Commissioner Appointment

6.

Group Health Insurance Renewal



CITY OF SOUTHAVEN

Policy: Personal Leave	
Adopted: July 15, 2017	
Revised: 6/2/2020, 1/21/2020, 2/3/2015, 9/20/2011, 8/30/2011, 10/2/2023	
Mississippi Statute: Mississippi Code Section 25-11-103(i)	

January 1, 2024, all full-time and exempt employees, other than fire fighters, with less than one year of continuous service will accrue paid personal leave at the following rate based on total continuous services, as of the employee's hire date. Leave accrual will be awarded upon completion of each service level.

Service	Leave accrual rate
3 months	20 hours
6 months	20 hours
12 months	40 hours

All full-time firefighters, with less than one year of continuous service will accrue paid personal lave at the following rate based on total continuous services, as of the employee's hire date. Leave accrual will be awarded upon completion of each service level.

Service	Leave accrual rate
3 months	30 hours
6 months	30 hours
12 months	60 hours

All full-time and exempt employees, other than fire fighters, hired *after* January 1, 1991 will accrue paid personal leave at the following annual rate based on total continuous service, as of the employees hire date anniversary:

<u>Service</u>	<u>Leave accrual rate</u>
13Months—23 months	80 hours
24 months - 72 Months	120 hours
73 Months—120 Months	160 hours
121 Months—Over	200 hours



CITY OF SOUTHAVEN

All full-time firefighters hired *after* January 1, 1991 will accrue paid personal leave at the based on total continuous service as of their hire date anniversary:

<u>Service</u>	<u>Leave accrual rate</u>
13 Months—23 months	144 hours
24 months - 72 Months	168 hours
73 Months---120 Months	240 hours
121 Months—Over	300hours

All full-time and exempt employees, other than fire fighters, hired *prior* to January 1, 1991 will accrue paid personal leave at the following annual rate based on total continuous service as of their hire date anniversary:

<u>Service</u>	<u>Leave accrual rate</u>
Over 360	280 hours

All full-time firefighters hired *prior* to January 1, 1991 will accrue paid personal leave at the following annual rate based on total continuous service as of their hire date anniversary:

<u>Service</u>	<u>Leave accrual rate</u>
Over 360 Months	420 hours

Part-time and temporary employees shall not earn personal leave. Personal leave shall begin accruing on the date the employee begins work, not the date of initial hire.

For the purpose of computing credit for personal leave, each employee shall be considered to work not more than forty hours each week. The provisions of this section shall not apply to military leaves of absence. The time for taking personal leave shall be determined by the governing authority of which such employees are employed.

The earned personal leave of each employee shall be credited the first full pay period after the employee's anniversary date each year. It shall be unlawful for a department to grant paid personal leave greater than was earned and accrued by the employee.



CITY OF SOUTHAVEN

Employees are encouraged to use earned personal leave. Personal leave may be used for vacations and personal business as scheduled by the governing authority. Accrued personal or compensatory leave may also be used for an illness in the employee's immediate family. There shall be a limit to the accumulation of personal leave. Only upon voluntary termination of employment or retirement and in good standing and under no pending employment investigation and/or pending disciplinary action may an employee be paid for not more than one hundred and sixty (160) hours; two-hundred and forty (240) for firefighters, of accumulated, unused personal leave.

Personal leave pay will be based on the rate of pay you receive when your personal leave time begins. You can use earned personal leave time for injury leave or in conjunction with holiday pay. Except as provided by the Family and Medical Leave Act, personal leave may not be used in conjunction with major medical leave.

Up to 80 hours of leave without pay per employee per year may be approved by each department head. Salaried employees (exempt employees) shall use personal leave whenever they are not at work. The beneficiary of an employee who dies with unused personal leave shall receive payment for all personal leave accumulated but not used by the employee up to one hundred sixty (160) hours of accumulated leave.

After January 1, 2012, paid leave will be used by drawing down on any existing leave balance. Should an employee not use and/or otherwise take their accrued leave within a 12-month period, such leave shall not carry over into a following 12-month period. Any personal leave earned but not used in a 12-month period shall be designated as follows: 100% of time shall be counted as major medical leave.

In accordance with Mississippi Code Section 25-11-103(i), the Governing Authority of the City of Southaven may offer an employee leave buy-back program. When funding is available and accounted/budgeted for within the municipal budget, an employee may "cash-out" his or her unused vacation balance in an amount not to exceed 160 hours. The Governing Authority will establish the date such buy-back will take place and the maximum amount of time/leave to "buy back". Prior to any employee leave balance buy back, the funding shall be adopted by the Governing Authority.

A one-time accrual of 40 or 60 hours, in accordance with the aforementioned service levels, will be added to all current City employees; to account for the additional new hire accruals. The one-time accrual will not carry over at the next accrual date. If not used prior to the next accrual date, the time will transfer to major medical leave.

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND THE CITY OF
SOUTHAVEN PROPERTY MAINTENANCE CODE**

The Mayor and Board of Aldermen of the City of Southaven, Mississippi (the “City”), considered the matter of amending the City of Southaven Property Maintenance Code:

Thereupon Alderman _____ offered and moved the adoption of the following resolution:

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND THE CITY OF
SOUTHAVEN PROPERTY MAINTENANCE CODE**

WHEREAS, the Mayor and Board of Alderman of the City have been given the authority pursuant to Miss. Code Section 21-19-11 of the Mississippi Code of 1972, annotated, as amended, to allow for the City to clean private property after due notice is served; and

WHEREAS, pursuant to Miss. Code Section 21-19-25, the City has the authority to adopt codes dealing with general public health, safety or welfare, or a combination of the same, by ordinance, which includes the adoption of a City Property Maintenance Code; and

WHEREAS, on November 3, 2015, the City previously approved the Property Maintenance Code; and

WHEREAS, pursuant to Miss. Code 21-17-5, the governing authorities of the City have the care, management and control of the municipal affairs and its property and finances and have the power to adopt, alter, or modify any orders, resolutions or ordinances with respect to such municipal affairs, property and finances;

WHEREAS, pursuant to Miss. Code Sections 21-13-1 and 21-17-5, the City has the authority and power to enforce the penalties as set forth in the City Property Maintenance Code as adopted by the City;

WHEREAS, the City desires to amend the City Property Maintenance Code; and

WHEREAS, the Board authorizes the Mayor, the Planning Director or their designee, to sign such documents or take actions that are necessary or required for the effectuation of the amended Ordinance; and

WHEREAS, the amendment to City Property Maintenance Code adopted, via City Ordinance, provides specific guidelines for the governmental authorities, and serves the legitimate City interest; and

NOW, THEREFORE BE IT ORDAINED BY RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF SOUTHAVEN, MISSISSIPPI SHALL AMEND THE CITY OF SOUTHAVEN PROPERTY MAINTNEANCE CODE AS FOLLOWS:

Sec. 4-65 – General definitions.

INOPERABLE MOTOR VEHICLE. A vehicle which cannot be driven upon the public streets for reason including but not limited to being unlicensed, wrecked, flat tire(s), abandoned, in a state of disrepair, or incapable of being immediately moved under its own power.

Sec. 4-67 – Blighted property violations.

2.6 Grass and Weeds. Any Premises or Yard which has grass, weeds, grass and/or weeds which extend over the curb line, or plant growth, excluding trees, shrubs, or cultivated flowers and gardens, that exceeds six (6) inches in height or length.

2.7 Shrubs and Trees. Any Premises or Yard which has shrubs and/or trees that are unkempt and overgrown to the severity of reaching the roof cornice of a structure or blocking 50% or more of a structure's window.

NOW, THEREFORE BE IT ORDERED that the amendments to the City Property Maintenance Code as set forth above in this Resolution shall take effect one month after passage.

NOW, THEREFORE BE IT ORDERED pursuant to Miss. Code 21-13-11, the City Clerk shall provide notice of the adoption of the Ordinance in the *Desoto Times* one (1) time.

The foregoing Resolution was seconded by Alderman _____ and brought to a vote as follows:

Alderman Kristian Kelly	voted:
Alderman Charlie Hoots	voted:
Alderman Joel Gallagher	voted:
Alderman George Payne	voted:
Alderman William Jerome	voted:
Alderman John Wheeler	voted:
Alderman Raymond Flores	voted:

Having received a majority of affirmative votes, the Mayor declared that the Resolution was carried and adopted as set forth above on this the 3rd day of October, 2023.

CITY OF SOUTHAVEN, MISSISSIPPI

BY: _____
DARREN MUSSELWHITE, MAYOR

ATTEST:

CITY CLERK

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND
THE CITY OF SOUTHAVEN CODE OF ORDINANCES,
TITLE IV, CHAPTER 2, ARTICLE VIII, SECTION 4-127**

The Mayor and Board of Aldermen of the City of Southaven, Mississippi (the “City”), considered the matter of amending the Southaven Code of Ordinances, specifically, TITLE IV, CHAPTER 2, ARTICLE VIII, SECTION 4-127 (“Ordinances”)

Thereupon Alderman _____ offered and moved the adoption of the following resolution:

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND
THE CITY OF SOUTHAVEN CODE OF ORDINANCES,
TITLE IV, CHAPTER 2, ARTICLE VIII, SECTION 4-127**

WHEREAS, pursuant to Miss. Code 21-19-25, the City may adopt building codes, plumbing codes, electrical codes, gas codes, sanitary codes, or any other codes dealing with general public health, safety or welfare, or a combination of the same; and

WHEREAS, pursuant to Miss. Code 21-17-5, the City shall have the care, management and control of the municipal affairs and shall have the power to adopt any orders, resolutions or ordinances with respect to such municipal affairs; and

WHEREAS, the City Governing Authorities desire to ensure construction proceeds orderly to eliminate potential hazards during the construction process; and

WHEREAS, the Ordinance, as amended by ensuring swimming pools are constructed in accordance with the applicable and up to date standards along with maintain adequate fencing, provides specific guidelines for the governmental authorities, and serves the legitimate City interest; and

WHEREAS, the Board authorizes the Mayor, or his designee, to sign such documents or take actions that are necessary or required for the effectuation of the amended Ordinance; and

NOW, THEREFORE BE IT ORDAINED BY RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND THE CITY OF SOUTHAVEN CODE OF ORDINANCES, TITLE IV, CHAPTER 2, ARTICLE VIII, SECTION 4-127

Sec. 4-127 – Swimming Pools

(a) The swimming pool chapters included in the International Residential Code adopted by the City are hereby adopted by reference as though fully copied herein. These adopted documents shall be utilized by the relevant design professional.

(b) The following amendments and/or exceptions apply:

Connection limitations. Indirect connection shall be made between any storm drain, storm sewer or other drainage system (approved by the administrative authority) for above ground pools. All direct connections shall comply with the provisions of this Code. It shall be unlawful to discharge or overflow any pool water in a manner to cause runoff on to adjacent properties.

(c) In addition to these provisions, the following shall also apply:

- (1) Any pool system intended to be temporary or portable that does not exceed a depth of two (2) feet and regardless of width or diameter shall not be erected for a period of more than six (6) months without being disassembled and stored away out of site of public view.
- (2) Any pool system of design that may be intended to be temporary or portable but that does exceed a depth of two (2) feet and regardless of width or diameter shall be required to be enclosed by a four-foot fence as provided for in this Code. In this case, such pools may remain erected as if permanent.
- (3) Any inground pool system shall be located at a distance of ten (10) feet minimum from any exterior face of a residence or any other building on the property. In the event, a pool cannot be placed in this manner on a site, a letter from a licensed engineer (authorized to practice in Mississippi) verifying that the foundations of all structures within ten (10) feet of the subject pool are not compromised shall be required before a permit shall be issued.

REMAINDER OF PAGE LEFT BLANK

NOW, THEREFORE BE IT ORDERED that this Ordinance shall take effect thirty days after passage.

NOW, THEREFORE BE IT ORDERED that the City Clerk, pursuant to Miss. Code 21-19-25, provide notice of the adoption of the code in the *Desoto Times* for one (1) time a notice in substantially the following form:

The foregoing Resolution was seconded by Alderman _____ and brought to a vote as follows:

Alderman Kristian Kelly	voted:
Alderman Charlie Hoots	voted:
Alderman Joel Gallagher	voted:
Alderman George Payne	voted:
Alderman William Jerome	voted:
Alderman John Wheeler	voted:
Alderman Raymond Flores	voted:

Having received a majority of affirmative votes, the Mayor declared that the Resolution was carried and adopted as set forth above on this the 3rd day of October, 2023.

CITY OF SOUTHAVEN, MISSISSIPPI

BY: _____
DARREN MUSSELWHITE, MAYOR

ATTEST:

CITY CLERK

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND
THE CITY OF SOUTHAVEN CODE OF ORDINANCES,
TITLE IV, CHAPTER 1, SECTION 4-2**

The Mayor and Board of Aldermen of the City of Southaven, Mississippi (the “City”), considered the matter of amending the Southaven Code of Ordinances, specifically, TITLE IV, CHAPTER 1, SECTION 4-2 “Property Addresses” (“Ordinances”)

Thereupon Alderman _____ offered and moved the adoption of the following resolution:

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND
THE CITY OF SOUTHAVEN CODE OF ORDINANCES TITLE IV, CHAPTER 1,
SECTION 4-2**

WHEREAS, pursuant to Miss. Code 21-17-5, the City shall have the care, management and control of the municipal affairs and shall have the power to adopt any orders, resolutions or ordinances with respect to such municipal affairs; and

WHEREAS, pursuant to Miss. Code 19-5-369, each person who owns or rents a residence, building or structure shall obtain a 911 address; and

WHEREAS, pursuant to Miss. Code 65-7-145, every dwelling house, whether or not located on a public road in this state and not otherwise designated by a street and number address, shall be assigned a street and number address.

WHEREAS, the Ordinance, as amended by ensuring compliance providing street addresses in a visible and expedient manner serves the legitimate City interest by assisting first responders locate the premises; and

WHEREAS, the Board authorizes the Mayor, or his designee, to sign such documents or take actions that are necessary or required for the effectuation of the amended Ordinance; and

NOW, THEREFORE BE IT ORDAINED BY RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND THE CITY OF SOUTHAVEN CODE OF ORDINANCES TITLE IV, CHAPTER 1, SECTION 4-2:

Sec. 4-2. Property addresses.

- (a) *Purpose.* The purpose of this section is to ensure that all buildings within the corporate limits of the city can be easily located by emergency response personnel.
- (b) *Scope.* This section shall be applicable to all existing and proposed buildings in any zone of the city.
- (c) *Regulations.*
 - (1) All buildings must post their property addresses in a manner as to be distinguishable from the street on which the property is located.
 - (2) Property addresses for all buildings must meet the following minimum criteria.
 - a. Numbers large enough to be seen easily from the street.
 - b. Numbers set on a background of a contrasting color.
 - c. For buildings that are some distance from a road, or when view of the building is blocked by trees or shrubs, numbers should be on an existing sign or on a sign attached to a tree, fence, gate, or lawn stake.
 - d. Numbers should be plain block numbers, not script or written numbers.
 - (3) Property addresses for commercial, industrial, and institutional buildings must be at least six (6) inches in height.
 - (4) Property addresses for all residential property must be at least three (3) inches in height.
- (d) *Enforcement.* The requirements of this section shall be enforced by the code enforcement officer or his designee. If it is determined by the code enforcement officer that a covered entity is in violation, he shall notify either the owner or operator of such entity, in writing, giving said owner or operator seven (7) calendar days in which to be in compliance. If, at the end of the seven (7) calendar days the entity is not in compliance, he shall issue a citation for noncompliance to the owner or operator. For purposes of this section, each day within one (1) calendar year, after one (1), thirty-day notice is considered to be a separate offense.
- (e) *Penalty.* Failure to comply with this section shall be punishable, upon conviction, by a fine of not less than twenty-five dollars (\$25.00), nor more than five hundred dollars (\$500.00) plus court costs, or up to thirty (30) days in jail, or both.

REMAINDER OF PAGE LEFT BLANK

NOW, THEREFORE BE IT ORDERED that this Ordinance shall take effect thirty days after passage.

NOW, THEREFORE BE IT ORDERED that the City Clerk, pursuant to Miss. Code 21-19-25, provide notice of the adoption of the code in the *Desoto Times* for one (1) time a notice in substantially the following form:

The foregoing Resolution was seconded by Alderman _____ and brought to a vote as follows:

Alderman Kristian Kelly	voted:
Alderman Charlie Hoots	voted:
Alderman Joel Gallagher	voted:
Alderman George Payne	voted:
Alderman William Jerome	voted:
Alderman John Wheeler	voted:
Alderman Raymond Flores	voted:

Having received a majority of affirmative votes, the Mayor declared that the Resolution was carried and adopted as set forth above on this the 3rd day of October, 2023.

CITY OF SOUTHAVEN, MISSISSIPPI

BY: _____
DARREN MUSSELWHITE, MAYOR

ATTEST:

CITY CLERK



DOOR KEY RELEASE

City of Southaven, its principal, agents, employees, designees, contractors, successors and assignees (hereinafter "Customer"), as the owner of certain elevator equipment located at Southaven City Hall, specifically requests an elevator "door key" for its elevator equipment. In response to that request, and in consideration of the covenants and promises set forth below, TK Elevator Corporation (hereinafter "TKE") herewith provides a "door key" to Customer. By executing this document, Customer acknowledges that, whenever possible, professionally trained elevator personnel should and will be called to handle any occurrence which necessitates the use of an elevator "door key". By executing this document, Customer further acknowledges that no training and/or instruction in the use of an elevator "door key" has been provided or given by TKE, its successors, assigns, affiliates, employees, subcontractors and/or designees. Therefore, in consideration for the provision of an elevator "door key" to Customer, Customer expressly releases, discharges, and acquits TKE, its successors, assigns, affiliates, employees, subcontractors, designees, attorneys and insurers (hereinafter "the Released Parties"), from any and all claims for loss, damages, delay, detention, death or injury, of any nature whatsoever, to any person, entity or property which are alleged or proven to result from the use of an elevator "door key" by any individuals or personnel other than a trained TKE employee or from any alleged instruction(s) given with respect to that use.

To the extent permitted by Mississippi Law, customer expressly agrees to the above and further agrees to indemnify, defend and save harmless the Released Parties from and against any and all liability, costs, expenses, judgment awards, interest, attorney's fees or any other damages which may be sustained by or imposed by law against the Released Parties as a result of any and all claims or actions against the Released Parties which are alleged or proven to result from the use of an elevator "door key" by any individuals or personnel other than a trained TKE employee or from any alleged instruction(s) given with respect to that use.

City of Southaven expressly agrees to name TK Elevator Corporation as an additional insured in both its liability and any excess (umbrella) liability insurance policy(ies). Such policies must provide insurance coverage for those losses referenced in the above paragraphs and shall be primary.

The obligations set forth herein shall continue so long as customer maintains possession and control of the elevator "door key" and shall only terminate upon the return of the elevator "door key" to TKE and the receipt by customer of a signed acknowledgement from TKE of same.

Tim Rowland on behalf of City of Southaven

By: _____

Its: _____

Date: _____



DOOR KEY RELEASE

City of Southaven, its principal, agents, employees, designees, contractors, successors and assignees (hereinafter "Customer"), as the owner of certain elevator equipment located at Southaven Parks, specifically requests an elevator "door key" for its elevator equipment. In response to that request, and in consideration of the covenants and promises set forth below, TK Elevator Corporation (hereinafter "TKE") herewith provides a "door key" to Customer. By executing this document, Customer acknowledges that, whenever possible, professionally trained elevator personnel should and will be called to handle any occurrence which necessitates the use of an elevator "door key". By executing this document, Customer further acknowledges that no training and/or instruction in the use of an elevator "door key" has been provided or given by TKE, its successors, assigns, affiliates, employees, subcontractors and/or designees. Therefore, in consideration for the provision of an elevator "door key" to Customer, Customer expressly releases, discharges, and acquits TKE, its successors, assigns, affiliates, employees, subcontractors, designees, attorneys and insurers (hereinafter "the Released Parties"), from any and all claims for loss, damages, delay, detention, death or injury, of any nature whatsoever, to any person, entity or property which are alleged or proven to result from the use of an elevator "door key" by any individuals or personnel other than a trained TKE employee or from any alleged instruction(s) given with respect to that use.

To the extent permitted by Mississippi Law, customer expressly agrees to the above and further agrees to indemnify, defend and save harmless the Released Parties from and against any and all liability, costs, expenses, judgment awards, interest, attorney's fees or any other damages which may be sustained by or imposed by law against the Released Parties as a result of any and all claims or actions against the Released Parties which are alleged or proven to result from the use of an elevator "door key" by any individuals or personnel other than a trained TKE employee or from any alleged instruction(s) given with respect to that use.

City of Southaven expressly agrees to name TK Elevator Corporation as an additional insured in both its liability and any excess (umbrella) liability insurance policy(ies). Such policies must provide insurance coverage for those losses referenced in the above paragraphs and shall be primary.

The obligations set forth herein shall continue so long as customer maintains possession and control of the elevator "door key" and shall only terminate upon the return of the elevator "door key" to TKE and the receipt by customer of a signed acknowledgement from TKE of same.

Tim Rowland on behalf of City of Southaven

By: _____

Its: _____

Date: _____

**RESOLUTION OF THE CITY OF SOUTHAVEN, MISSISSIPPI REGARDING THE
ESTABLISHMENT OF WATER AND SEWER RATES MISS. CODE ANN. SECTION
21-27-7**

WHEREAS, the Mayor and Board of Aldermen of the City of Southaven have heretofore adopted a Resolution which contains the rates and charges for the operation of the City's combined water/sewer system, and

WHEREAS, the established rates are based on the actual cost to operate and maintain the system as determined in the most recently completed fiscal year and approved fiscal year 2024 budget, and

WHEREAS, the actual costs set forth above are determined under Generally Accepted Accounting Principles, and

WHEREAS, the Mayor and Board of Aldermen have determined that this Resolution shall be adopted, and the findings of fact set forth herein incorporated into the minutes.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

1. That the recitals set forth above are hereby adopted as findings of fact pursuant to Miss. Code Ann. Section 21-27-7.

After a full discussion of this matter, Alderwoman _____ moved that the foregoing resolution be adopted and said motion was seconded by Alderman _____, and upon the question being put to a vote of the members of the Board of Aldermen present, the following vote was taken on this action:

Alderwoman Kristian Kelly
Alderman Charlie Hoots
Alderman William Jerome
Alderman Joel Gallagher
Alderwoman John David Wheeler
Alderwoman Raymond Flores
Alderman George Payne

WHEREUPON, the foregoing Resolution was declared passed and adopted at the regular meeting of the Mayor and Board of Aldermen of the City of Southaven, Mississippi, on this, the 3rd day of October, 2023.

DARREN MUSSELWHITE, MAYOR

ATTEST:

ANDREA MULLEN, CITY CLERK



September 25, 2023

To: Mayor Darren Musselwhite and the City of Southaven Board of Aldermen

RE: Request for more recent version of the ICC Building Code for the Landers Center Expansion

Gentlemen,

Per our discussions with Southaven Building Official, James Gentry and Southaven Fire Marshal, Tim Rowland, we respectfully request the opportunity to use the 2024 ICC Building Code for the referenced project. We would appreciate it if this could be included for the agenda of your upcoming October 3, 2023, meeting.

As you know, this project is a very complex and large enterprise and we have found that the more recent version of the Code will allow us to follow the design vision and meet the functional needs of the facility better than the currently adopted 2018 ICC version.

Both James and Tim have approved this request and view it as we do – a benefit to this important project in our community and an opportunity for the City of Southaven to become familiar with and to see the application of a Code version that will likely be adopted in the future.

Please let us know if you need anything else from us or any further explanation. We will be happy to attend the meeting if it will help.

Thank you for your attention to this matter.

A handwritten signature in black ink, appearing to read "Doug Thornton".

Doug Thornton, AIA, LEED ^{BD+C} **AERC**, pllc - President

Architectural & Energy Resources for Construction

Doug Thornton, AIA LEED AP ^{BD+C}

342 West Valley Street ■ Hernando, MS 38632 ■ o 662.298.0057 ■ f 662.298.0061 ■ www.AERCpllc.com

12.

Authorization to Advertise,
Via Reverse Auction,
for FY24 Police Equipment



CivicPlus

302 South 4th St. Suite 500
Manhattan, KS 66502
US

Quote #:
Date:
Expires On:

Statement of Work
Q-49656-1
9/7/2023 8:06 AM
9/30/2023

Client:
SOUTHAVEN, MISSISSIPPI

Bill To:
SOUTHAVEN, MISSISSIPPI

SALESPERSON	Phone	EMAIL	DELIVERY METHOD	PAYMENT METHOD
David Gilchrist		david.gilchrist@civicplus.com		Net 30

Premium Subsite

QTY	PRODUCT NAME	DESCRIPTION	PRODUCT TYPE
1.00	Sub-Site Annual Fee - CivicEngage Central	Sub-site Annual Fee - CivicEngage Central: 'Department Name'	Renewable
1.00	CivicEngage Year 1 Annual Fee Discount	Year 1 Annual Fee Discount	Renewable
1.00	Hosting & Security Annual Fee - CivicEngage Central	Hosting & Security Annual Fee - CivicEngage Central	Renewable
1.00	CivicEngage Year 1 Annual Fee Discount	Year 1 Annual Fee Discount	Renewable
1.00	SSL Management – CP Provided Only	SSL Management – CP Provided Only 1 per domain (Annually Renews)	Renewable
1.00	CivicEngage Year 1 Annual Fee Discount	Year 1 Annual Fee Discount	Renewable
1.00	DNS and Domain Hosting Setup (http://URL)	DNS and Domain Hosting Setup (http://URL)	One-time
1.00	DNS and Domain Hosting Annual Fee (http://URL)	DNS and Domain Hosting Annual Fee (http://URL)	Renewable
1.00	CivicEngage Year 1 Annual Fee Discount	Year 1 Annual Fee Discount	Renewable
1.00	Sub-Site Premium Implementation - CivicEngage	Premium Implementation - CivicEngage	One-time

QTY	PRODUCT NAME	DESCRIPTION	PRODUCT TYPE
1.00	Content Development - 1 Page - CivicEngage	Content Development - 1 Page - CivicEngage	One-time

List Price - Year 1 Total	USD 13,786.00
Total Investment - Initial Term	USD 10,339.50
Annual Recurring Services - Year 2	USD 4,623.15

Initial Term & Renewal Date	12 Months
Initial Term Invoice Schedule	100% Invoiced upon Signature Date

Renewal Procedure	Automatic 1 year renewal term, unless 60 days notice provided prior to renewal date
Renewal Invoice Schedule	Annually on date of signing
Annual Uplift	5% starting in Year 2

This Statement of Work ("SOW") shall be subject to the terms and conditions of the CivicPlus Master Services Agreement and the applicable Solution and Services terms and conditions located at <https://www.civicplus.help/hc/en-us/p/legal-stuff> (collectively, the "Binding Terms"), By signing this SOW, Client expressly agrees to the terms and conditions of the Binding Terms throughout the term of this SOW.

The Parties hereby acknowledge and agree the City of Southaven as a Mississippi governmental entity may only be bound by the terms and conditions of the Binding Terms which do not conflict with Mississippi law.

Acceptance

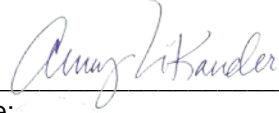
The undersigned has read and agrees to the following Binding Terms, which are incorporated into this SOW, and have caused this SOW to be executed as of the date signed by the Customer which will be the Effective Date:

Authorized Client Signature

CivicPlus

By:

By:



Name:

Name:

Amy Vikander

Title:

Title:

Senior VP of Customer Success

Date:

Date:

9/25/2023

Organization Legal Name:

Billing Contact:

Title:

Billing Phone Number:

Billing Email:

Billing Address:

Mailing Address: (If different from above)

PO Number: (Info needed on Invoice (PO or Job#) if required)

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE
CITY OF SOUTHAVEN, MISSISSIPPI APPROVING
INTERLOCAL AGREEMENT BETWEEN THE CITY OF SOUTHAVEN
AND THE CITY OF OLIVE BRANCH FOR 2023 EDWARD
BYRNE JUSTICE ASSISTANCE GRANT (JAG)**

WHEREAS, the Mississippi Interlocal Cooperative Act of 1974, Section 17-13-1 et seq. of the Mississippi Code (1972), provides that local government units may cooperate and contract with one another on the basis of mutual advantage and thereby provide services for the most efficient use of their powers, and

WHEREAS, the City of Southaven was chartered under the laws of the State of Mississippi, and

WHEREAS, the JAG Program award amount granted to the Cities, as detailed by the Joint Application Award, is \$41,023.50.00; and

WHEREAS, Desoto County, Olive Branch, and Southaven find that the performance of this Interlocal Agreement is in the best interests of all parties, that the undertaking will benefit the public, and that the division of costs fairly compensates the performing party for the services or functions required of it under this agreement; and

WHEREAS, each of the parties, in performing their governmental functions or in paying for the performance of governmental functions hereunder, shall make that performance or those payments from current revenues legally available to them; and

WHEREAS, the parties hereto believe that promoting greater crime control and prevention will be benefited from use of the JAG Program funds and their efforts and use of said funds may best be accomplished by a formal agreement pursuant to the authority of the "Interlocal Cooperation Act of 1974".

WHEREAS, the Mayor and Board of Aldermen are charged with the responsibility of maintaining the health, safety and welfare of the citizens of the City, and

WHEREAS, the entities have proposed a formal agreement between them, a copy of which is referred to and incorporated herein by reference, and

WHEREAS, Desoto County, City of Southaven and the City of Olive Branch will share the JAG Program funding award amount as follows:

- a. Thirteen Thousand Ninety Dollars and no cents (\$13,090.00) for Olive Branch Police Department to purchase seventeen (17) Peltor ComTac Communicators with helmet mounts to enhance SWAT Capabilities and Officer Safety;
- b. Twelve Thousand Six Hundred Fifty Dollars and no cents (\$12,650.00) for Southaven Police Department to purchase fifty-five (55) Point Black Guard Gen III vest to enhance SWAT Capabilities and Office Safety;
- c. Fifteen Thousand Two Hundred Eighty-Three Dollars and Fifty Cents (\$15,283.50) for DeSoto County Sheriff's Department to purchase five (5) Avon Twin Port Air Purifying Respirators, five (5) Avon Voice Projection Unit Gen II with Microphones, and two (2) Avon Multi-Mission Tactical Operators to enhance SWAT Capabilities and Officer Safety.

WHEREAS, the Mayor and Board of Aldermen have determined that it is in the best interest of the citizens of Southaven that the City participate in the Interlocal Agreement.

NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

1. The Interlocal Agreement between Desoto County, City of Southaven and the City of Olive Branch, to participate in the 2023 Byrne Justice Assistance Grant in the joint amount of \$\$41,023.50.00 be, and the same is hereby approved.
2. Terms of the 2023 Byrne Justice Assistance Grant be, and the same are hereby approved as set forth in said Interlocal Agreement.
3. All City Officials are authorized to take any and all action required to obtain the Justice Assistance Grant funds.

Following the reading of the foregoing Resolution, Alderman _____ made the motion and Alderman _____ seconded the motion for its adoption. The Mayor put the question to a roll call vote, and the result was as follows:

Alderman William Jerome	voted:
Alderman Kristian Kelly	voted:
Alderman Charlie Hoots	voted:
Alderman George Payne	voted:
Alderman Joel Gallagher	voted:
Alderman John Wheeler	voted:
Alderman Raymond Flores	voted:

RESOLVED AND DONE, this 3rd day of October, 2023.

Darren Musselwhite, MAYOR

ATTEST:

Andrea Mullen, CITY CLERK

**MEMORANDUM OF UNDERSTANDING (MOU)
IN THE NATURE OF AN INTERLOCAL
AGREEMENT BETWEEN DESOTO COUNTY, MISSISSIPPI,
THE CITY OF OLIVE BRANCH, MISSISSIPPI
AND THE CITY OF SOUTHAVEN, MISSISSIPPI
FOR 2023 EDWARD BYRNE
JUSTICE ASSISTANCE GRANT (JAG)**

This agreement made this ____ day of _____ 2023, between the Desoto County, Mississippi, acting by and through its governing body, the Board of Supervisors (hereinafter called County); and the cities of Olive Branch, Mississippi, acting through its Board of Aldermen (hereinafter called Olive Branch), and Southaven, Mississippi, acting through its Board of Aldermen (hereinafter called Southaven). Hereinafter Olive Branch and Southaven are collectively called Cities.

WITNESSETH

WHEREAS, the Cities and County desire to promote and improve their capacities to prevent and control crime with the use of funds provided through the Edward Byrne Justice Assistance Grant (JAG Program); and

WHEREAS, the JAG Program award amount granted to the Cities, as detailed by the Joint Application Award, is \$41,023.50.00; and

WHEREAS, each of the parties, in performing their governmental functions or in paying for the performance of governmental functions hereunder, shall make that performance or those payments from current revenues legally available to them; and

WHEREAS, the Cities and County find that the performance of this Interlocal Agreement is in the best interests of all parties, that the undertaking will benefit the public, and that the division of costs fairly compensates the performing party for the services or functions required of it under this agreement; and

WHEREAS, the Cities agree that the County will participate and be able to utilize a portion of the total grant award in the amount of \$15,283.50 from the JAG award for the Project Plan of purchasing essential equipment for SWAT teams; and

WHEREAS, the parties hereto believe that promoting greater crime control and prevention will be benefited from use of the JAG Program funds and their efforts and use of said funds may best be accomplished by a formal agreement pursuant to the authority of the "Interlocal Cooperation Act of 1974".

NOW, THEREFORE, FOR AND IN CONSIDERATION of the mutual covenants and agreements contained herein and pursuant to the authority of Section 17-13-1, et seq., of the Mississippi Code of 1972, the Board of Supervisors of DeSoto County Mississippi, the Board of Aldermen of the City of Olive Branch and the Board of Aldermen of the City of Southaven for and on behalf of the Cities and County do hereby covenant, contract and agree as follows:

1. This Agreement shall take effect upon the date of approval by the Attorney General of the State of Mississippi, after first being approved and executed by the Cities and County, which approval is to be entered onto the minutes of the Board meetings of the Cities and County.
2. The Cities agree that the County will be a participant in the JAG funds, being eligible to use a portion of the total award of \$41,023.50 in accordance with the Project Plan. The Parties agree to use \$41,023.50 for the Project Plan until September 2026. The Parties agree to sharing the JAG Program funding award amount as follows:
 - a. Thirteen Thousand Ninety Dollars and no cents (\$13,090.00) for Olive Branch Police Department to purchase seventeen (17) Peltor ComTac Communicators with helmet mounts to enhance SWAT Capabilities and Officer Safety;
 - b. Twelve Thousand Six Hundred Fifty Dollars and no cents (\$12,650.00) for Southaven Police Department to purchase fifty-five (55) Point Black Guard Gen III vest to enhance SWAT Capabilities and Office Safety;
 - c. Fifteen Thousand Two Hundred Eighty -Three Dollars and Fifty Cents (\$15,283.50) for DeSoto County Sheriff's Department to purchase five (5) Avon Twin Port Air Purifying Respirators, five (5) Avon Voice Projection Unit Gen II with Microphones, and two (2) Avon Multi-Mission Tactical Operators to enhance SWAT Capabilities and Officer Safety.
 - d. The Parties agree that JAG award is a reimbursement program. Each entity will purchase the above referenced equipment in accordance with applicable purchasing laws and submit to DeSoto County the necessary claim documentation for reimbursement through the JAG program.
3. Nothing in the performance of this Agreement shall impose any liability for claims against the Cities and County other than claims for which liability may be imposed by the laws of the State of Mississippi.
4. Each party to this Agreement will be responsible for its own actions in providing services under this Agreement and shall not be liable for any civil liability that may arise from the furnishing of the services by the other parties.
5. The parties to this Agreement do not intend for any third party to obtain a right by virtue of this agreement.
6. By entering into this Agreement, the parties do not intend to create any obligations express or implied other than those set out herein; further, this Agreement shall not create any rights in any party not a signatory hereto.

7. The parties agree that DeSoto County shall be the "lead agency" and shall be the reporting entity for the purposes of the JAG Program in accordance with the JAG FY 2023 Local Solicitation as detailed by the U.S. Department of Justice. DeSoto County shall be responsible for monitoring the award, submitting the reports, and other duties as may be required in order to carry out this grant. Each party agrees to follow the requirements of 2 CFR 200.313 related to the equipment purchased.
8. The parties agree to comply with all provisions, covenants and obligations of the JAG Program. In this respect, no party shall amend, alter or change the manner it uses the funds it receives from the manner the party represented the funds would be used in making its application for funding, without first obtaining proper authorization from JAG Program grant administration.
9. This Agreement shall be in effect to and from the date agreed and signed to the conclusion of the JAG projects as described in the JAG Program grant as awarded to the parties.
10. Nothing in this Agreement shall bind any agency or party to any stipulation that is not expressly detailed within this Agreement.
11. Pursuant to M.C.A. Section 17-13-9, the parties would set forth the following:
 - a. Duration: This Agreement shall have a term beginning from the date of execution and extend to and terminate on the conclusion of the JAG projects as described in the JAG Program grant as awarded to the parties. In the event this agreement extends beyond the term of the existing term of the majority of the membership of the governing Board of any party hereto, it will be deemed to automatically renew and be binding upon the successor Board unless, by majority vote, the incoming Board terminates the same.
 - b. Purpose: The purposes of this Interlocal Agreement are set forth in paragraphs 1-10 above;
 - c. Separate Legal Entity: There is no separate legal or administrative entity created pursuant to this Interlocal Agreement.
 - d. Statutory authority for the Cities to take the actions required of them, as set forth above is contained in Mississippi Code Annotated Section 21-21-3. Statutory authority for the County to take the actions required of them as set forth above is contained in Mississippi Code Annotated Section 19-3-41.
 - e. Financing: Financing of this venture is through the JAG Program and, as required, the matching funds of the parties, in such percentages as required by the JAG Program.
 - f. Person to Account for Funds: DeSoto County is designated by this Agreement to receive, disburse and account for all funds of the joint undertaking set for herein;

- g. **Methods of Termination:** Each party to this Agreement may terminate its participation in the Agreement by giving notice in writing to the other party, forwarded by certified mail, return receipt requested, or hand delivered at least thirty (30) days prior to the date of termination, but only if such termination is permitted by the JAG Program.
 - h. **Amendments:** Neither this Agreement nor any of its terms may be changed or modified, waived, or terminated except by an instrument in writing, approved by the governing body of each party, with such approval spread upon its official minutes, and signed by each parties' authorized representative.
 - i. **Administration:** This project will be administered through DeSoto County for the benefit of all parties.
 - j. **Disposal of Property:** This Agreement does not provide for the acquiring, holding, or disposing of real or personal property;
 - k. **Any other necessary and proper matters** are set forth in paragraphs 1-10 above;
12. Should it become necessary, pursuant to Federal or State law, it is hereby deemed by the parties that DeSoto County shall be the sponsoring subdivision for such purposes as necessary including, but not limited to, the procurement of grants and/or federal or state funds.
13. This Agreement may be executed in two or more counterparts, each of which shall be deemed an original but all of which shall constitute one and the same instrument. In addition, this Agreement may contain more than one counterpart of the signature page and this Agreement may be executed by the affixing of the signatures to such counterpart signature pages; in which case each counterpart signature page shall constitute an original, but all of which, taken together, shall constitute a single signature page.

WITNESS the signature of the parties hereto after first being approved by the respective governing authorities.

DESOTO COUNTY

BY: _____
 RAY DENISON, PRESIDENT,
 BOARD OF SUPERVISORS

DATE: _____

ATTEST:

 CLERK – BOARD OF SUPERVISORS

CITY OF OLIVE BRANCH

BY: _____
KEN ADAMS, MAYOR

DATE: _____

ATTEST: _____
CITY CLERK

CITY OF SOUTHAVEN

BY: _____
DARREN MUSSELWHITE, MAYOR

DATE: _____

ATTEST: _____
CITY CLERK

**LETTER OF AGREEMENT FOR
PLANNING AND CONSULTING SERVICES**

THIS AGREEMENT is entered into by and between **BRIDGE & WATSON, INC.**, hereinafter called the CONSULTANT and the **CITY OF SOUTHAVEN, MISSISSIPPI**, hereinafter called the CITY.

1. The CITY does hereby employ the CONSULTANT to perform professional and technical services for: municipal annexation analysis and related services.
2. The CONSULTANT hereby agrees to perform the above services in a diligent and competent manner in accordance with the standards applicable to this work.
3. The CITY shall compensate the CONSULTANT for professional services rendered plus direct reimbursement for out-of-pocket expenses including travel, per diem expenses for personnel, purchased information and services, copies, graphic materials and other necessary expenses. The CONSULTANT may require the assistance of the city engineer regarding water, sewer, street and drainage facilities and cost estimates, whose fee, if any, is not covered in this agreement.
4. The CONSULTANT will submit monthly or periodic invoices to the CITY requesting payment. Such requests will be based upon the amount and value of work and services performed by the CONSULTANT and will be accompanied by an itemized statement of work performed. The CITY shall pay the CONSULTANT the total amount of the invoice within forty-five (45) days after receipt of the invoice. Nonpayment or payment less than the amount of the invoice within the specified time shall be cause for suspension of work by the CONSULTANT. The invoices will be based on the following rate schedule:

Principal Planner:	\$200.00/hr.
Associate Planner I:	\$125.00/hr.
Associate Planner II:	\$100.00/hr.
Assistant Planner I:	\$ 85.00/hr.
Assistant Planner II:	\$ 60.00/hr.
Planning Technician:	\$ 40.00/hr.
Planning Assistant:	\$ 30.00/hr.
Mileage:	IRS business mileage rate (currently \$0.655/mile)

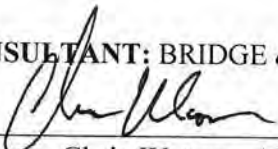
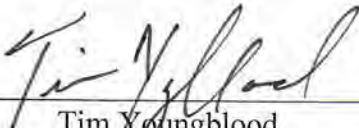
5. The CITY may terminate or re-negotiate this letter of agreement at any time with written notification to the CONSULTANT.

IN WITNESS WHEREOF the CITY and the CONSULTANT have executed this Letter of Agreement on this the _____ day of _____, 2023.

CLIENT: CITY OF SOUTHAVEN, MISSISSIPPI

BY: _____ WITNESS: _____
Darren Musselwhite, Mayor Andrea Mullen, City Clerk

CONSULTANT: BRIDGE & WATSON, INC.

BY:  _____ WITNESS:  _____
Chris Watson, AICP Tim Youngblood

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI
ADJUDICATING THE COST OF CLEANING PROPERTY, IMPOSING A
PENALTY AND IMPOSING LIEN OF
THE SAME AGAINST PROPERTY**

WHEREAS, the City of Southaven (“City”) has the authority, pursuant to Section 21-19-11 of the Mississippi Code (1972) to clean up property within the City, under circumstances which create a menace to the public health and safety of the community, and

WHEREAS, the Mayor and Board of Aldermen conducted hearings regarding various properties, as set forth in Exhibit A, and determined that the conditions and circumstances of such properties created a menace to the public health and safety of the community, and ordered the clean-up of the properties, and

WHEREAS, pursuant to the authority granted to the City, the Mayor and Board of Aldermen, the City used City personnel for the clean-up of the properties; and

WHEREAS, the Mayor and Board of Aldermen have heard proof and find as a fact that the actual cost of the clean-up is as attached hereto as Exhibit A, and

WHEREAS, the Mayor and Board of Aldermen deem and resolve that the clean-up cost and penalty shall be collected as a lien against property and if not paid, the lien shall be converted as an assessment against each property, to be collected by the Tax Collector in the manner employed for the collection of all other taxes and assessments of the municipality, unless sooner collected through other means.

NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

1. The cost and penalty structure for the clean-up of properties set forth in Exhibit A are hereby adopted by the City Governing Authorities.
2. The fees, costs, and penalties listed in Exhibit A be assessed to the property.
3. The total amount, as set forth above, be, and the same is hereby assessed against each property, to be filed as a lien and if not collected, to be converted as an assessment to be collected by the Tax Collector in the manner used for collection of other municipal taxes and assessments, unless sooner collected through other means.
4. The City Planner and/or her designee is authorized to take any and all action to effectuate the intent of this Resolution.

Following the reading of this Resolution, it was introduced by Alderman _____ and seconded by Alderman _____. The Resolution was then put to a roll call vote and the results were as follows, to-wit:

Alderman William Jerome
Alderman Kristian Kelly
Alderman George Payne
Alderman Joel Gallagher
Alderman John David Wheeler
Alderman Raymond Flores
Alderman Charlie Hoots

RESOLVED AND DONE this 3rd day of October, 2023.

DARREN MUSSELWHITE, MAYOR

ATTEST:

CITY CLERK

EXHIBIT A

LIENS PRICING

Residential Lots \$250.00

PARCELS 1-5 Acres \$500.00 to \$750.00

PARCELS 5-10 ACRES \$750-\$1000

1 ACRE-\$500

2 ACRE-\$550

3 ACRE-\$600

4 ACRE-\$650

5 ACRE-\$750

6 ACRE-\$800

7 ACRE-\$850

8 ACRE \$900

9 ACRE-\$950

10 ACRE-\$1000

Address	Street Name	Parcel #	Mowings	Penalty Assessed	Enrollment & Release	Assessment Totals
5729	Antler Trail	207204250 0041300	1	\$318.00	\$8.00	\$326.00
5445	Bradley Lane	208101090 0031000	1	\$250.00	\$8.00	\$258.00
8695	Cat Tail Drive	108420080 0020600	1	\$318.00	\$8.00	\$326.00
8182	Cedarbrook Drive	108624090 0011900	1	\$250.00	\$8.00	\$258.00
8206	Cedarbrook Drive	108624090 0012100	4	\$1,000.00	\$32.00	\$1,032.00
7726	Chesterfield Dr. S	108726190 0008900	2	\$632.00	\$16.00	\$648.00
526	Christybrook Cove	108624070 0041700	2	\$500.00	\$16.00	\$516.00
6836	Cobblestone Blvd	107834140 0000800	1	\$330.00	\$8.00	\$338.00
1676	Custer Drive	108726010 0310200	2	\$500.00	\$16.00	\$516.00
1070	Great Oaks Drive	208102020 0006500	2	\$500.00	\$16.00	\$516.00
7340	Greenbrook Parkway	107930040 0195800	3	\$900.00	\$24.00	\$924.00
7457	Greenbrook Parkway	107930040 0190400	1	\$530.00	\$8.00	\$538.00
568	Haven Hill Cove	208101030 0031200	1	\$250.00	\$8.00	\$258.00
2086	Heather Ridge	107828090 0004500	1	\$412.00	\$8.00	\$420.00
7885	Hwy. 51	108726000 0000900	1	\$250.00	\$8.00	\$258.00
8044	Jamesbrook Drive	108624110 0030700	2	\$500.00	\$16.00	\$516.00
8589	Lakeshore Drive	107419070 0112200	1	\$250.00	\$8.00	\$258.00
920	Main Street	108613020 0000200	1	\$250.00	\$8.00	\$258.00
8082	Oakbrook Drive	108624090 0006900	1	\$250.00	\$8.00	\$258.00
8182	Oakbrook Drive	108624090 0007700	1	\$250.00	\$8.00	\$258.00
8241	Oakbrook Drive	108624090 0004500	3	\$834.00	\$24.00	\$858.00
8242	Oakbrook Drive	108624090 0008200	1	\$252.00	\$8.00	\$260.00
9076	Southview Street	108613010 0000100	2	\$500.00	\$16.00	\$516.00
450	Stateline Road	108613000 0001202	1	\$250.00	\$8.00	\$258.00
1925	Stateline Road East	107420010 0000600	3	\$750.00	\$24.00	\$774.00
98	Stonebrook Cove	108624110 0032600	1	\$250.00	\$8.00	\$258.00
680	Thornwood Drive	107419040 0059900	1	\$250.00	\$8.00	\$258.00
754	Valley Springs Drive	107419060 0098900	1	\$250.00	\$8.00	\$258.00
1122	Warwick Place	107932100 0007500	3	\$801.00	\$24.00	\$825.00
5820	Westminister Lane	208101010 0012000	1	\$294.00	\$8.00	\$302.00
464	Winridge Pointe	107930010 0141200	1	\$272.00	\$8.00	\$280.00
1918	Winners Circle North	107929200 0009700	1	\$392.00	\$8.00	\$400.00

107419070 0111000	3	\$784.00	\$24.00	\$808.00
107419070 0110600	2	\$500.00	\$16.00	\$516.00
107419070 0110700	3	\$784.00	\$24.00	\$808.00
107419070 0110800	2	\$500.00	\$16.00	\$516.00
107419070 0110900	3	\$784.00	\$24.00	\$808.00
107419000 0000200	4	\$1,600.00	\$32.00	\$1,632.00
107419250 0000200	4	\$2,000.00	\$32.00	\$2,032.00
107521120 0022900	1	\$600.00	\$8.00	\$608.00
107828200 0000400	1	\$318.00	\$8.00	\$326.00
107828200 0000500	1	\$332.00	\$8.00	\$340.00
107828130 0019100	4	\$1,760.00	\$32.00	\$1,792.00
107834140 0000800	1	\$250.00	\$8.00	\$258.00
107834170 0001400	3	\$1,080.00	\$24.00	\$1,104.00
107834000 0000204	2	\$1,186.00	\$16.00	\$1,202.00
107929190 0000300	1	330.00	\$8.00	\$338.00
107929190 0000500	1	\$330.00	\$8.00	\$338.00
107929190 0000700	1	\$330.00	\$8.00	\$338.00
107931080 0000715	1	\$390.00	\$8.00	\$398.00
107931080 0000716	1	\$370.00	\$8.00	\$378.00
107931140 0000300	1	\$330.00	\$8.00	\$338.00
108417060 0000100	4	\$1,400.00	\$32.00	\$1,432.00
108420040 0000100	4	\$2,200.00	\$32.00	\$2,232.00
108515000 0000100	5	\$4,250.00	\$40.00	\$4,290.00
108614000 0001900	5	\$2,500.00	\$40.00	\$2,540.00
108624000 0000500	3	\$1,650.00	\$24.00	\$1,674.00
108726000 0000603	3	\$1,470.00	\$24.00	\$1,494.00
107932150 0000200	1	\$330.00	\$8.00	\$338.00
207419000 0000301	1	\$410.00	\$8.00	\$418.00
208624000 0002602	1	\$310.00	\$8.00	\$318.00
208101200 0068000	1	\$410.00	\$8.00	\$418.00

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI
APPROVIING CHANGE ORDER NO. 1 FOR PHASE 3 FOR FIRE EXTENSION
SERVICE PROJECT AND AUTHORIZING
THE MAYOR TO SIGN**

WHEREAS, the City of Southaven ("City"), pursuant to Mississippi Code Section 31-7-13, previously solicited bids for the Fire Extension Project ("Project") whereby Trey Construction ("Trey") was the lowest and best bid; and

WHEREAS, it has been recommended by the City Engineer to allow for certain changes to the contract as it relates to adjustments for increased quantities for additional boring lengths necessary for major crossings which could not be performed by the City and relocating water lines on Getwell Road, and as more fully set forth in Exhibit A; and

WHEREAS, based on the recommendation of the engineer, the City desires to proceed with the suggested changes as set forth above and in more detail in Exhibit A and pursuant to Mississippi Code 31-7-13(g) finds that the Change Order No. 1 for the Project is necessary and better serves the purpose of the City and the change order will be done in a commercially reasonable manner and is not being done to circumvent the public purchasing statutes; and

NOW, THEREFORE, BE IT ORDERED by the Board of Aldermen of the City, to wit:

1. Pursuant to Mississippi Code 31-7-13(g), the Change Order No. 1 for the Project is not a new undertaking or outside the original scope of the contract and is commercially reasonable and not being done to circumvent the public purchasing statutes, the City Board approves the Change Order in the amount of \$465,071.58.
2. The Mayor is authorized to sign the Change Order and take all actions to effectuate the intent of this Resolution.

Following a reading of the foregoing resolution, Aldermen _____ made the motion and Alderman _____ seconded the motion for its adoption. The Mayor put the question to a roll call vote and the result was as follows:

Alderman William Jerome	voted:
Alderman Kristian Kelly	voted:
Alderman Charlie Hoots	voted:
Alderman George Payne	voted:
Alderman Joel Gallagher	voted:
Alderman John Wheeler	voted:
Alderman Raymond Flores	voted:

ORDERED AND DONE, this 3rd day of October, 2023.

DARREN L. MUSSELWHITE, MAYOR

ATTEST:

CITY CLERK

SUMMARY CONTRACT CHANGE ORDER

DATE:	9/25/2023	ORDER NO.	1
CONTRACT FOR:	FIRE SERVICE EXTENSION (PHASE 3)		
OWNER:	CITY OF SOUTHAVEN		
CONTRACTOR:	TREY CONSTRUCTION INC.		

You are hereby requested to comply with the following changes from the contract plans and specifications:

Description of Changes (Supplemental Plans and Specifications Attached)	DECREASE in Contract Price	INCREASE in Contract Price
Item 5 - 12" Horizontal Directional Drilling (HDD) - (515 LF @ \$88/LF)		\$ 45,320.00
Item 6 - 18" Steel Casing Bore and Jack - (210 LF @ \$950/LF)		\$ 199,500.00
Item 7 - 8" Water Main Driveway Bore (NO Casing) - (21 LF @ \$58/LF)		\$ 1,218.00
Item 8 - 12" Water Main Driveway Bore (NO Casing) - (400 LF @ \$65/LF)	\$ 26,000.00	
Item 9 - 6" PVC Water Main (C-900) - (241 LF @ \$31/LF)	\$ 7,471.00	
Item 10 - 8" PVC Water Main (C-900) - (393 LF @ \$55/LF)		\$ 21,615.00
Item 11 - 12" PVC Water Main (C-900) - (1836 LF @ \$89/LF)		\$ 163,404.00
Item 12 - 8" Gate Valve - (1 EA @ \$2,250/EA)		\$ 2,250.00
Item 13 - 10" Gate Valve - (2 EA @ \$3,350/EA)	\$ 6,700.00	
Item 14 - 12" Gate Valve - (13 EA @ \$4,125/EA)		\$ 53,625.00
Item 16 - Fire Hydrant Assembly - (3 EA @ \$5,250/EA)		\$ 15,750.00
Item 18 - Sodding - (3,000 SY @ \$5/SY)		\$ 15,000.00
Item 20 - 20" Wattles - (50 LF @ \$10/LF)		\$ 500.00
New Item 22 - 12" Mechanical Joint 45° Fitting (EA) - Add Pay Item for 12" Mechanical Joint 45° Fitting. (10 EA @ \$3,044.00)		\$ 30,440.00
New Item 23 - 8" Mechanical Joint 22.5° Fitting (EA) - Add Pay Item for 8" Mechanical Joint 22.5° Fitting. (1 EA @ \$1,940.58)		\$ 1,940.58
TOTALS	\$ 40,171.00	\$ 505,242.58
NET CHANGE IN CONTRACT PRICE		\$ 465,071.58

JUSTIFICATION: This summary change order adjusts original contract quantities to include quantities for relocating water lines on the Getwell Road Widening Project, and increases and decreases in quantities used on the original Fire Service Extension Phase 3.

The amount of the Contract will be ~~(Decrease)~~ (Increase) By The Sum Of: Four Hundred Sixty-Five Thousand
Seventy-One and 58/100 Dollars \$ 465,071.58

The Contract Total Including this and previous Change Orders Will Be: Two Million Eight Hundred Seventy-Four
Thousand One Hundred Sixty-Nine and 58/100 Dollars \$ 2,874,169.58

The Contract Period Provided for Completion Will Be (Increased) ~~(Decreased)~~ ~~(Unchanged)~~ 85 Days.

This document will become a supplement to the contract and all provisions will apply hereto.

Accepted _____ (Owner) _____ (Date)

Recommended _____ (Owner's Architect/Engineer) _____ (Date)

Accepted _____ (Contractor) _____ (Date)

18.

Resolution for
Budget Amendment

RESOLUTION GRANTING AUTHORITY TO CLEAN PRIVATE PROPERTY

WHEREAS, the governing authorities of the City of Southaven, Mississippi, have received numerous complaints regarding the parcel of land located at the following address, to-wit:

CONDEMNATION ADDRESS

587 HILLBROOK

PARCEL # 107931080 0000717

PARCEL # 10793108 0000708

To the effect that the said parcel of land has been neglected whereby the grass height is in violation and there exist other unsafe conditions and that the parcel of land in the present condition is deemed to be a menace to the public health and safety of the community.

WHEREAS, pursuant to Section 21-19-11 of the Mississippi Code Annotated (1972), the governing authorities of the City of Southaven, Mississippi, provided the owners of the above described parcel of land with notice of the condition of their respective parcel of land and further provided them with notice of a hearing before the Mayor and Board of Aldermen on Tuesday, **October 3, 2023** by United States mail and by posting said notice, to determine whether or not the said parcel of land were in such a state of uncleanness as to be a menace to the public health and safety of the community.

WHEREAS, none of the owners of the above described parcel of land appeared at the meeting of the Mayor and Board of Aldermen on Tuesday, **October 3, 2023**, to voice objection or to offer a defense.

NOW, THEREFORE, BE IT HEREBY RESOLVED, by the Mayor and Board of Alderman of the City of Southaven, Mississippi, that the above described parcel of land located at:

CONDEMNATION ADDRESS

587 HILLBROOK

PARCEL # 107931080 0000717

PARCEL # 10793108 0000708

is deemed in the existing condition to be a menace to the public health and safety of the community.

BE IT FURTHER RESOLVED that the City of Southaven shall, if the owners of the above described parcel of land do not do so themselves, immediately proceed to clean the respective parcel of land, by the use of municipal employees or by contract, by cutting weeds and grass and removing rubbish and other debris.

Following the reading of this Resolution, it was introduced by Alderman and seconded by Alderman . The Resolution was then put to a roll call vote and the results were as follows, to-wit:

ALDERMAN

VOTED

Alderman George Payne
Alderman Kristian Kelly
Alderman Charlie Hoots
Alderman William Jerome
Alderman Joel Gallagher
Alderman John David Wheeler
Alderman Raymond Flores

The Resolution, having received a majority vote of all Aldermen present, was declared adopted on this, the 3rd day of October 2023.

CITY OF SOUTHAVEN, MISSISSIPPI BY:

**DARREN MUSSELWHITE
MAYOR**

ATTEST:

**ANDREA MULLEN
CITY CLERK
(S E A L)**

Network: Sep 13, 2023 at 10:06:24 AM CDT

Local: Sep 13, 2023 at 10:06:24 AM CDT

N 34.981409°, W 90.000110°

587 Hillbrook Dr

CITY OF SOUTHAVEN
Top of Mississippi

Southaven MS 38671

United States

Office of Code Enforcement

Code Enforcement Office



8710 Northwest Drive
Southaven, MS 38671
Ph. 662-280-6523
Fax 662-280-6534

www.southaven.org

September 18, 2023

DESOTO PROPERTIES ILLC
587 HILLBROOK DR
SOUTHAVEN, MS 38671

RE: Municipal Code Violations at 587 HILLBROOK DR

Please be advised that the violations noted below have been confirmed by the City of Southaven Code Enforcement Office at the above-referenced location. Please contact this office within seven (7) days of receipt of this notice to discuss the disposition of this matter.

Should this notice be ignored or you desire to be heard by the City Board of Aldermen, a hearing will take place by the City of Southaven Board of Alderman on 10/03/2023 pursuant to Mississippi Code 21-19-11 to determine if the property is a menace to the public health, safety and welfare of the community and upon a finding that the property is a menace, the City may enter and clean the property. An adjudication at the hearing that the property is in need of cleaning will authorize the City of Southaven to reenter the property for a period of one (1) year after final adjudication without any further hearing if notice is posted on the property and Southaven City Hall at least (7) seven days before the property is reentered for cleaning.

Please contact this office at 662-280-6523. Cooperation in this matter is appreciated.

Sincerely,

Code Enforcement Office
Municipal Code Office
City of Southaven

X Unsafe Property Violation --- Municipal Ordinance: Section 10-7 (a), (1)

Note: This matter should be addressed immediately to avoid condemnation of this property.

Network Sep 18, 2023 at 10:07:10 AM CD7

Local Sep 18, 2023 at 10:07:10 AM CD7

N 34.981573°, W 90.000147°

588 Hillbrook Dr

Southaven MS 38671

United States



Network: Sep 18, 2023 at 10:07:13 AM CDT

Local: Sep 18, 2023 at 10:07:13 AM CDT

N 34.981573°, W 90.000147°

588 Hillbrook Dr

Southaven MS 38671

United States



Network: Sep 18, 2023 at 10:49:04 AM CDT
Local: Sep 18, 2023 at 10:49:04 AM CDT
N 34° 57' 33.433", W 89° 59' 7.087"
6653-6881 Hospitality Ln
Southaven MS 38671
United States



Network: Sep 18, 2023 at 10:48:59 AM CDT

Local: Sep 18, 2023 at 10:48:59 AM CDT

N 34° 57' 34.599", W 89° 59' 7.350"

CITY OF SOUTHAVEN
Top of Mississippi

6653-6881 Hospitality Ln

Southaven MS 38671

United States

Office of Code Enforcement

Code Enforcement Office



8710 Northwest Drive
Southaven, MS 38671
Ph. 662-280-6523
Fax 662-280-6534

www.southaven.org

September 18, 2023

BRE SPACE TYSONS LLC
PARCEL #107931080 0000708
SOUTHAVEN, MS 38671

RE: Municipal Code Violations at PARCEL #107931080 0000708

Please be advised that the violations noted below have been confirmed by the City of Southaven Code Enforcement Office at the above-referenced location. Please contact this office within seven (7) days of receipt of this notice to discuss the disposition of this matter.

Should this notice be ignored or you desire to be heard by the City Board of Aldermen, a hearing will take place by the City of Southaven Board of Alderman on 10/03/2023 pursuant to Mississippi Code 21-19-11 to determine if the property is a menace to the public health, safety and welfare of the community and upon a finding that the property is a menace the City may enter and clean the property. An adjudication at the hearing that the property is in need of cleaning will authorize the City of Southaven to reenter the property for a period of one (1) year after final adjudication without any further hearing if notice is posted on the property and Southaven City Hall at least (7) seven days before the property is reentered for cleaning.

Please contact this office at 662-280-6523. Cooperation in this matter is appreciated.

Sincerely,

Code Enforcement Office
Municipal Code Office
City of Southaven

X Unsafe Property Violation --- Municipal Ordinance Section 10.01 (a), (1)

Note: This matter should be addressed immediately to avoid condemnation of this property.

Network: Sep 18, 2023 at 10:47:53 AM CDT

Local: Sep 18, 2023 at 10:47:53 AM CDT

N 34° 57' 35.201", W 89° 59' 6.160"

CITY OF SOUTH AVEN
Top of Mississippi

6652-6880 Hospitality Ln

Southaven MS 38671

United States

Office of Code Enforcement

Code Enforcement Office

8710 Northwest Drive
Southaven, MS 38671
Ph. 662-280-6523
Fax 662-280-6534



www.southaven.org

September 18, 2023

BRE SPACE TYSONS LLKC
PARCEL# 107931080 0000717
SOUTHAVEN, MS 38671

RE: Municipal Code Violation at PARCEL# 107931080 0000717

Please be advised that the violations noted below have been confirmed by the City of Southaven Code Enforcement Office at the above-referenced location. Please contact this office within seven (7) days of receipt of this notice to discuss the disposition of this matter.

Should this notice be ignored or you desire to be heard by the City Board of Aldermen, a hearing will take place by the City of Southaven Board of Alderman on 10/03/2023 pursuant to Mississippi Code 21-19-11 to determine if the property is a menace to the public health, safety and welfare of the community and upon a finding that the property is a menace, the City may enter and clean the property. An adjudication at the hearing that the property is in need of cleaning will authorize the City of Southaven to reenter the property for a period of one (1) year after final adjudication without any further hearing if notice is posted on the property and Southaven City Hall at least (7) seven days before the property is reentered for cleaning.

Please contact this office at 662-280-6523. Cooperation in this matter is appreciated.

Sincerely,

Code Enforcement Office
Municipal Code Office
City of Southaven

X Unsafe Property Violation --- Municipal Ordinance: Section 10-7 (a), (1)

Note: This matter should be addressed immediately to avoid condemnation of this property.

Network: Sep 18, 2023 at 10:47:59 AM CDT
Local: Sep 18, 2023 at 10:47:59 AM CDT
N 34° 57' 34.253", W 89° 59' 6.842"
6653-6881 Hospitality Ln
Southaven MS 38671
United States



**City of Southaven
Office of Planning and Development
Design Review Staff Report**



Date of Hearing:	September 25, 2023
Public Hearing Body:	Planning Commission
Applicant:	Dr. Sarah Irby 7075 Golden Oaks Loop W Southaven, MS 38671
Total Acreage:	0.711 acres
Existing Zone:	Planned Commercial (C-4)
Location of Design Review Application	South side of Goodman Road, east of Snowden Lane
Comprehensive Plan Designation:	Commercial/Office

Staff Comments:

The applicant is requesting design review approval for a two story office building to be located on lot 17 of the Offices of Cobblestone Subdivision. The following items were submitted:

Building Elevations:

The applicant is proposing a two story structure constructed of brick with a hipped architectural shingle roof. The brick- Buckingham is an earth tone color with light gray mortar. The entry ways are covered with a slanted canopy that incorporate the shingles from the roof line. Wood shutters are used on two sides of the building with some shown shut and others open which gives some variety to the façade. The windows are standard residential paned windows. Additional decorative accents of cast stone header above each window line are proposed. There is a playground area shown on site that is utilizing the brick material for the screening walls. Mechanical units are not shown screened; however, the dumpster provides the same brick material on three sides.

Landscaping:

The landscape is showing the following:

Shade trees: Allee Elm at 3.5” caliper.

Ornamental trees: Natchez Crape Myrtle shown at 8’-9’ minimum height and Oakleaf holly at 2.5” caliper.

Shrubs: Dwarf Japanese holly, knock out roses and Encore azaleas are all shown with a three (3) gallon minimum. Miscanthus ornamental grass is shown in 5” pot minimums.

Additional materials include lirioppe at 2” and Bermuda sod.

The applicant has proposed a building perimeter landscape which incorporates the Dwarf Japanese holly and the knock out roses in a staggered row. The medians in the parking lot have incorporated a single Allee elm along with a single space row of knock out roses.

A photometric plan has been submitted by the applicant. There is decorative single head acorn lighting placed in the rear parking lot in both parking lot medians and on the northwest perimeter of the parking lot.

Staff Recommendations:

This building is located in an existing office park with buildings very similar to this design. The only comment staff has is that the ground mounted mechanical area is required to be screened on three sides with a masonry material so the applicant will need to carry the brick to this north side and enclose this area to a height that properly screens the units. Staff has no further comments regarding the building and recommends approval.

Staff has concerns with the landscaping. The applicant identifies several species of materials on the plan yet they use only three items. This is entirely too basic for a commercial development. Staff would like to see all items identified used on the plan so it is the suggestion of staff that:

1. Natchez crape myrtles be placed on both ends of the green space area just south of the building;
2. Oakleaf hollies be placed on each end of the buildings frontage;
3. Natchez crape myrtle be placed on the northwest corner of the sidewalk area behind the building;
4. Oakleaf holly be added on each end of the ground mounted mechanical area;
5. A tight line of Oakleaf holly or some other form of evergreen should be placed around the perimeter of the dumpster screening;
6. An Allee elm should be placed in the northwest corner of the site at the back of the parking lot area where there is sufficient space;
7. Ornamental grass and liriopse should be incorporated heavily in all areas of green space.

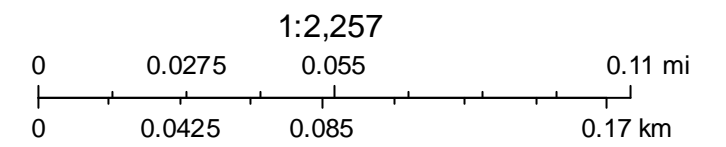
These revisions should be approved by the Planning Commission and all changes submitted back to staff prior to planting time.

The decorative lighting is for aesthetics so staff would like to see it brought to the front of the site at the entrances to the site and/or the building frontage. The applicant is welcome to leave the proposed ones in the parking lot behind the building or replace those with standard parking lot lighting which provides more security.

Staff has no further comments.

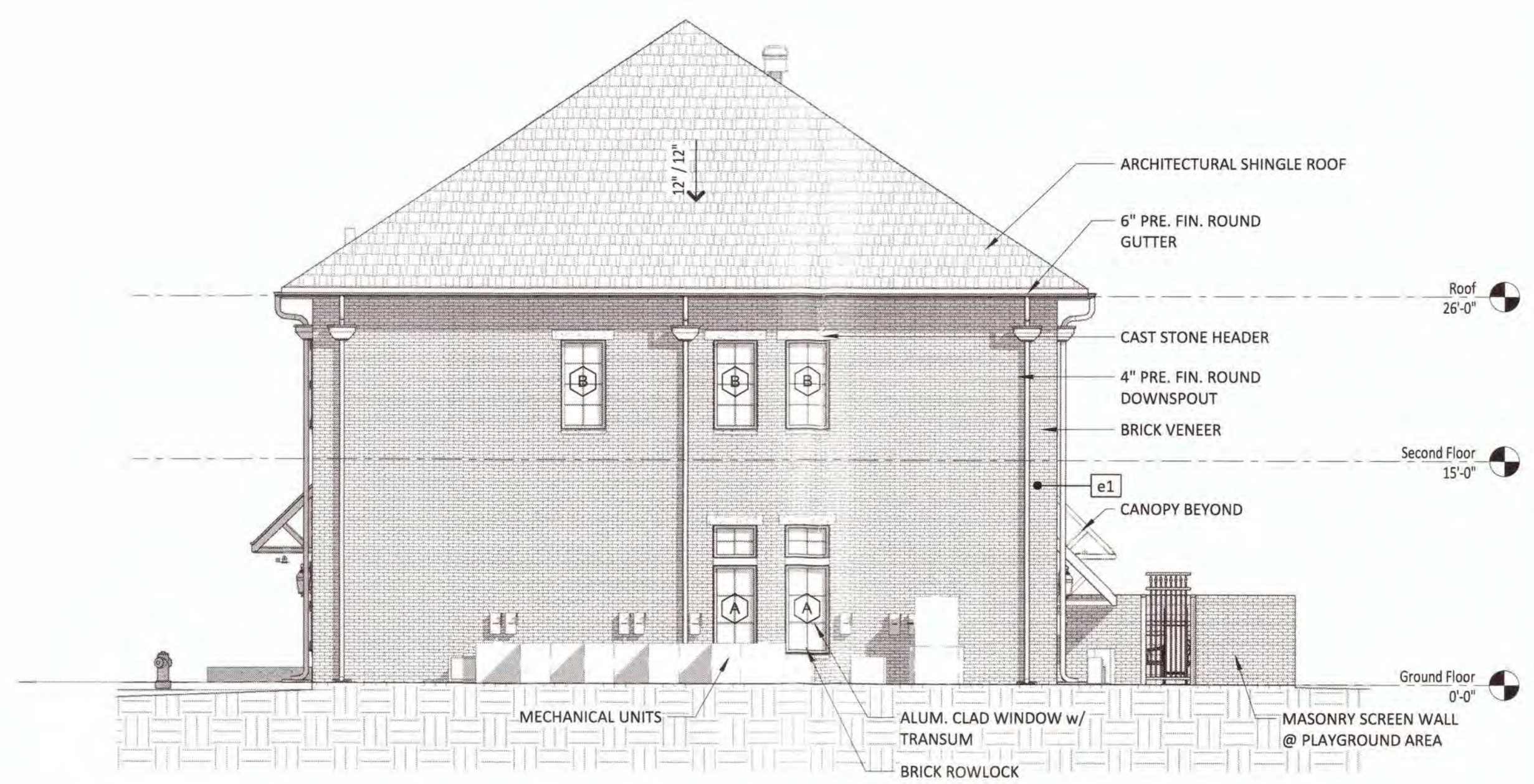


September 20, 2023

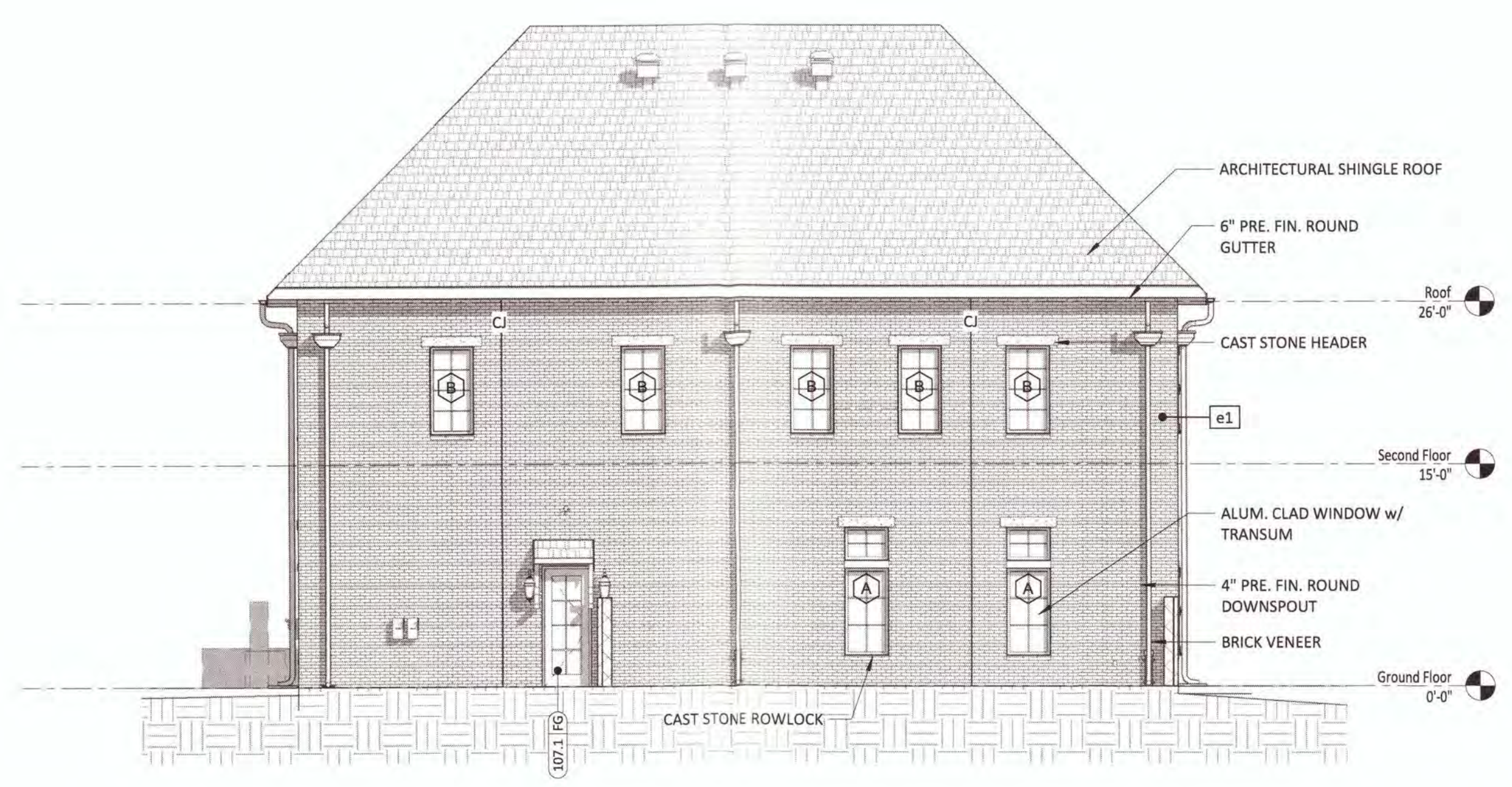




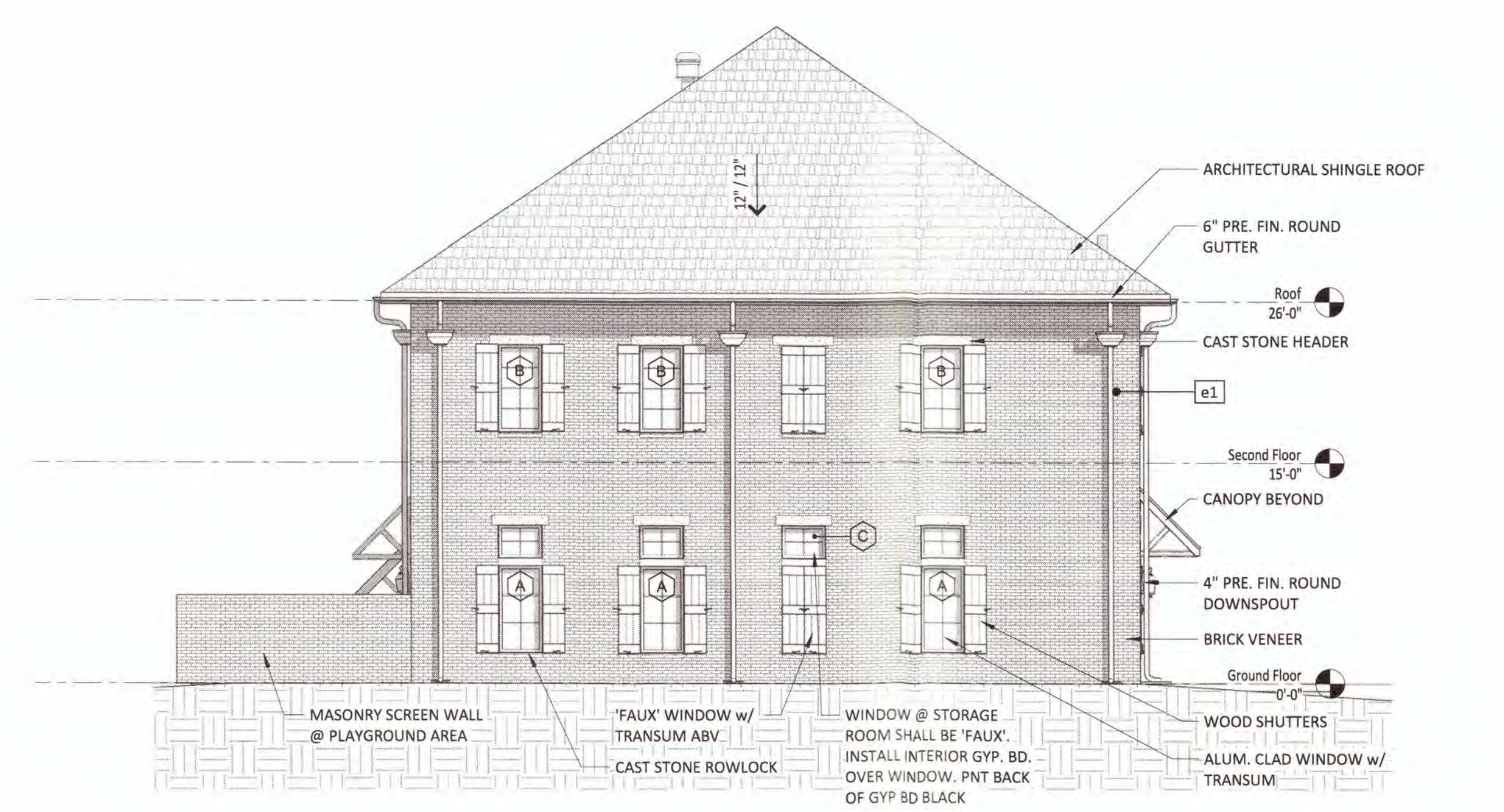
3E East Elevation
Scale: 1/8" = 1'-0"



3C North Elevation
Scale: 1/8" = 1'-0"



1E West Elevation
Scale: 1/8" = 1'-0"



1C South Elevation
Scale: 1/8" = 1'-0"

Plot Date & Time: 6/30/2023 3:00:21 PM

New Building
Irby Psychological
Lot #17 Cobblestone Office Park, Southaven MS 38672

Project No.: 2212
Date: 06/30/2023
Drawn by: J
Checked by: dw

REVISIONS

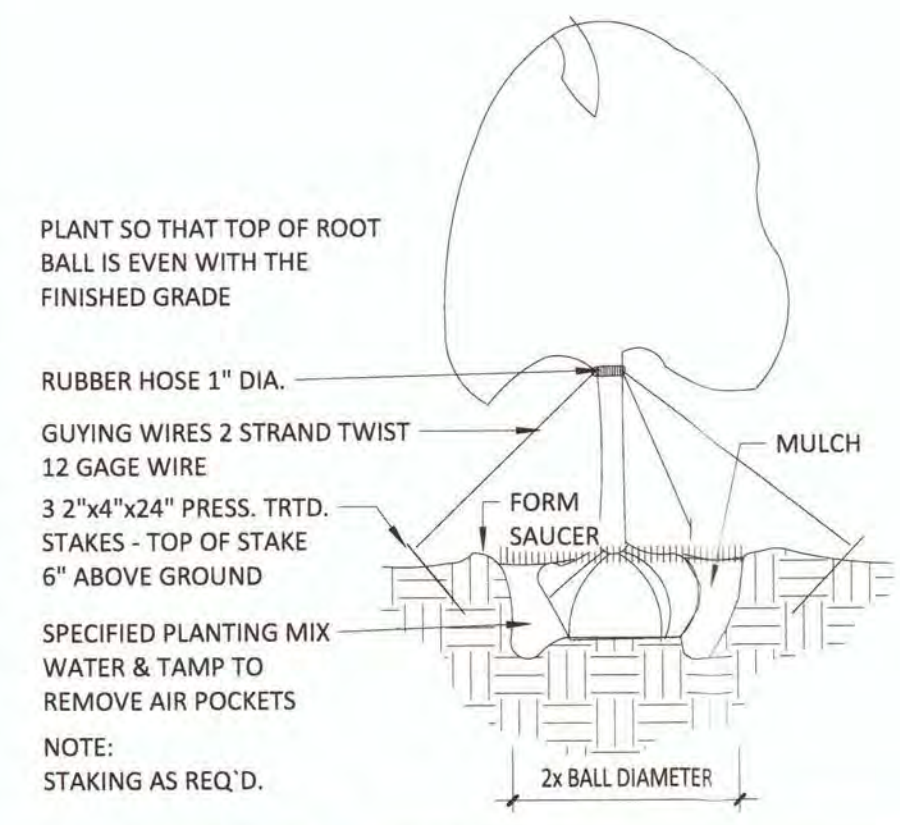
CONSTRUCTION
DOCUMENTS

A300
Exterior Elevations

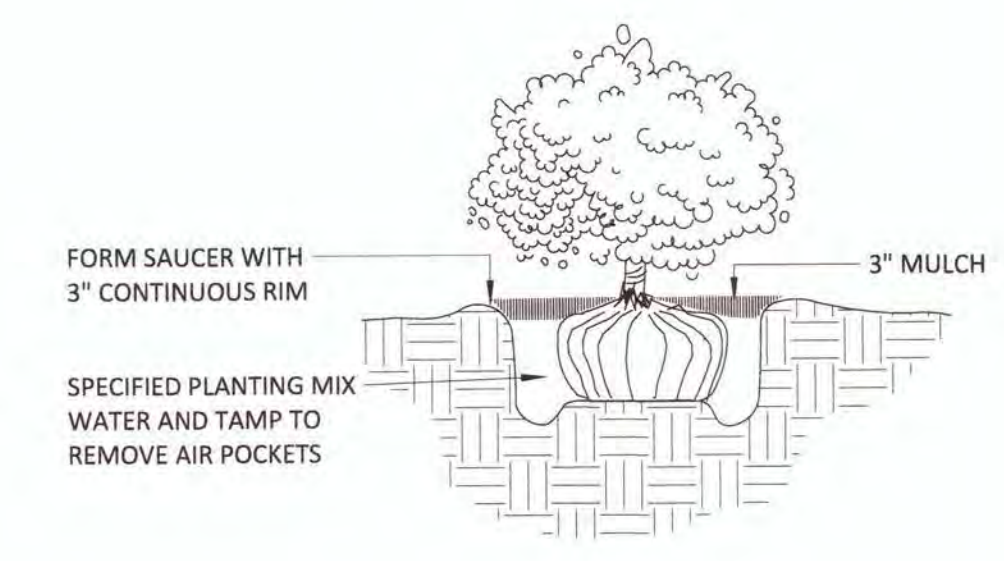


architectural & energy resources for construction

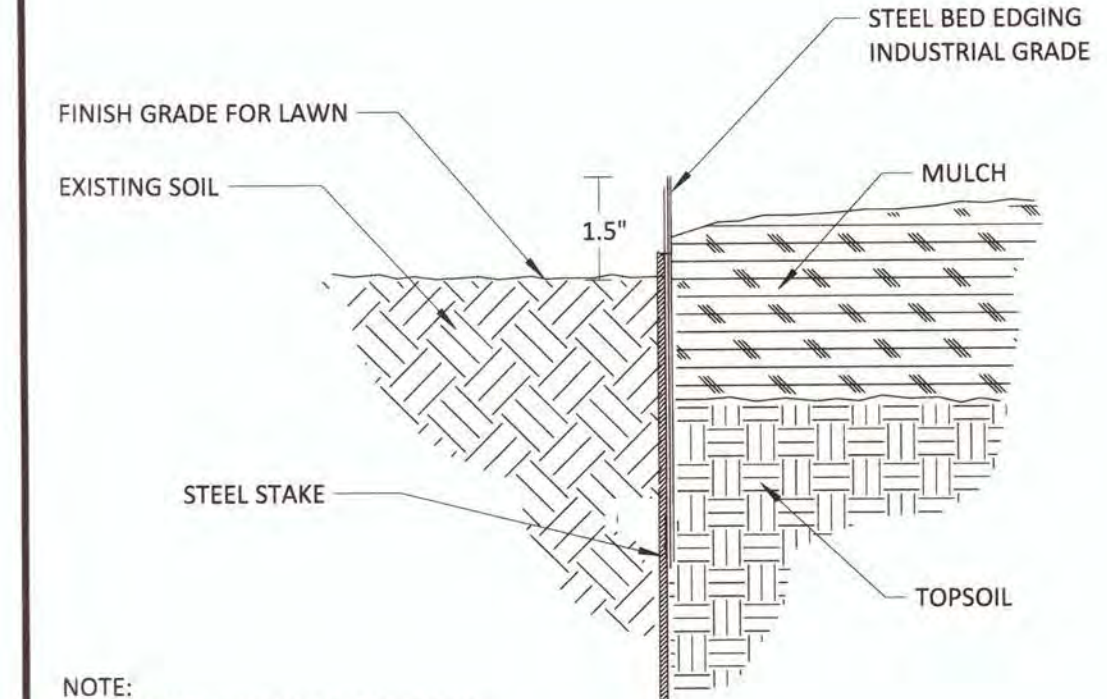
Douglas W. Thornton, AIA
342 West Valley Street
Hernando, MS 38632
p 662.298.0057
f 662.298.0061
www.AERCpllc.com



4C Tree Staking Detail
Scale: NOT TO SCALE



4B Shrub Planting
Scale: NOT TO SCALE



NOTE:
BED EDGING TO BE INSTALLED AT THE PERIMETER OF ALL LANDSCAPED BEDS UNLESS BOUNDED BY CONCRETE WALKS OR CURBS, TYP.

4A Typical Bed Edging Detail
Scale: NOT TO SCALE

Landscaping Legend & Bid Quantities:

	Bermuda Hybrid 419 Sod Stake All Sod on Slopes > 1:6 & All Swales 3,000 SY In-Place		Shredded Pine Bark Mulch (Dark Brown) 4" Thick on Prepared Bed 2,000 SF In-Place Provide & Install Steel Edging @ Non-Curb Edges to separate mulch from grass areas and walks. (Edging Required @ Edges @ Walks 27 LF In-Place)		ALLEE ELM 3.5" Caliper Min. - Qty: 3		MISCANTHUS ORNAMENTAL GRASS 5" Pot Min. - Qty: 0
	Bermuda Seed / Over-seed 3,000 SY In-Place		2" Liriope Bundle @ Spaced 8" O.C.E.W. in Large Areas & 6" O.C. as Edging 0 SF In-Place		NATCHEZ CRAPE MYRTLE 8 Ft. High, 3 Trunk Min. - Qty: 0		DWARF JAPANESE HOLLY 3 Gallon Min. - Qty: 21
					OAK LEAF HOLLY 2 1/2" Caliper Min. - Qty: 0		KNOCK-OUT ROSES 3 Gallon Min. - Qty: 27
							ENCORE AZALEA - LARGE Flower color per Owner 3 Gallon Min. - Qty: 0

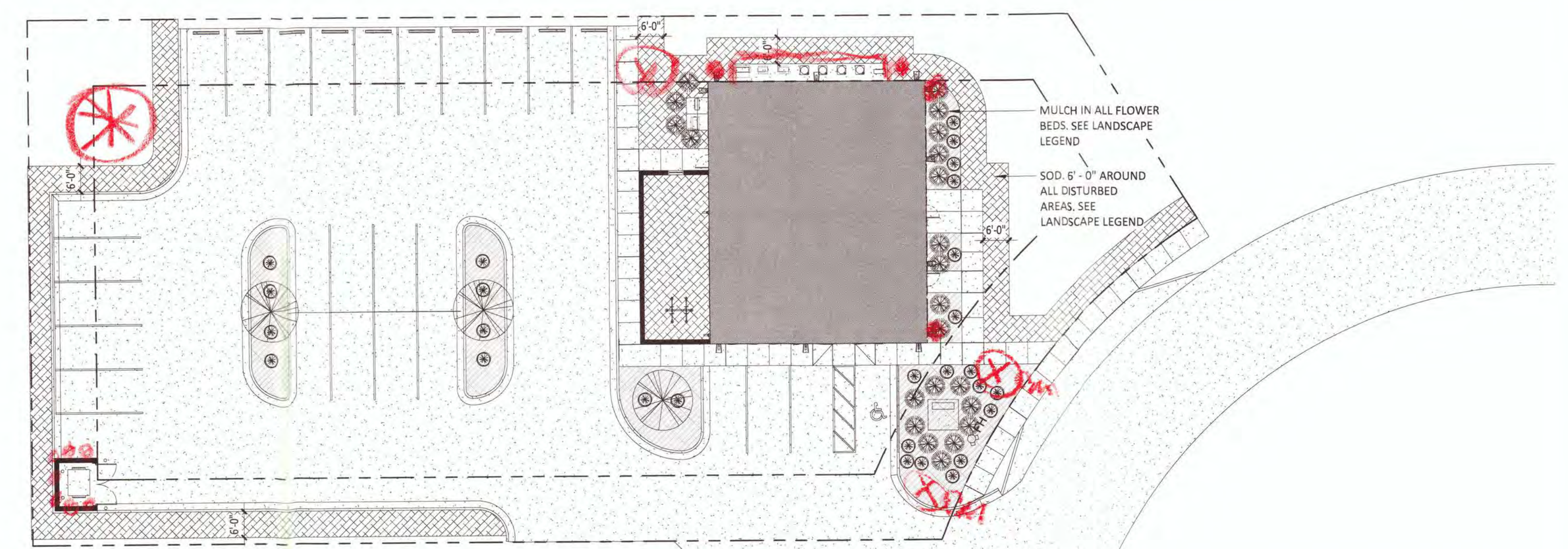
NOTE:
CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES AND SITE CONDITIONS.

LANDSCAPE PLANTING NOTES

- Prior to installation of any plant material, the Landscape Contractor shall have accurately located all existing underground utilities, including all recently installed utilities. The Landscape Contractor shall immediately notify the Architect of any conflicts with utilities prior to proceeding with installation of plant materials. Any utilities damaged as a result of planting activities shall be repaired and/or replaced by the Landscape Contractor at no additional expense to the Owner.
- All trees, shrubs, and ground covers indicated on the landscape plan shall be installed as the species specified in the plant schedule unless requested in writing by the Owner, who reserves the right to substitute similar plant materials.
- The Landscape Contractor shall coordinate his work with all other trades on site. Any planting areas disturbed as a result of general construction activity shall be immediately repaired /replaced by the Landscape Contractor at no additional expense to the Owner.
- A pre-emergent herbicide (Treflan, Eptan, or equal) shall be applied to all shrub beds prior to the installation of plant material. The herbicide to be applied per manufacturer's specifications and all applicable State and local codes.
- All plant material shall be guaranteed for a minimum of one full year and a complete growing season. (May through September) Beginning after written acceptance from the Architect for the installation of the plant material. At the conclusion of the growing season, or as requested by the Architect and/or Owner, all plants that are not vigorous, healthy, and in good condition shall be replaced by the Landscape Contractor at no additional expense to the Owner. These replacement plants shall meet all specified qualities of the original plant materials and carry the same guarantee from the time of replacement.
- It is the Landscape Contractor's responsibility to verify with the General Contractor that the subgrade preparation has been complete and (4) inches of topsoil has been placed on all proposed lawn areas and planting beds. The Landscape Contractor shall not begin any planting/installation until the General Contractor has completed the subgrade work and the topsoil has been installed.
- Any damage as a result of any planting activities shall immediately be repaired/replaced by the Landscape Contractor at no additional expense to the Owner.
- The Landscape Contractor shall have soil tests performed in lawn and planting bed areas to evaluate for nutrient and pH levels. The Landscape Contractor shall incorporate the necessary fertilizer or other specified soil additives recommended by the testing company for the proposed planting.
- Prior to installation of sod, all proposed lawn areas shall be disked and raked smooth to a uniform grade as shown on the grading plan, be free of weeds and other debris, and the area fertilized as required. After installation, sod shall be rolled at a sufficient rate to promote adequate root growth. All sod shall be laid within 24 hours of arriving at the site.
- All plant material shall conform to the standards of the "American Standard for Nursery Stock" (latest edition) as published by the American Association of Nurserymen.
- Stake/guy all trees immediately after installation and prior to acceptance. When high winds or other conditions occur, the Landscape Contractor shall take whatever precautions he deems necessary to protect the survival and appearance of the plants.

1D Planting Specifications
Scale: 12" = 1'-0"

Landscaping Legend
Scale: 1" = 20'-0"



*INCLUDE SPRINKLER SYSTEM IN ALL AREAS w/ LANDSCAPING. SPRINKLER SYSTEM TO BE EQUAL w/ 'RAIN BIRD'

1C Landscape Plan
Scale: 1" = 20'-0"

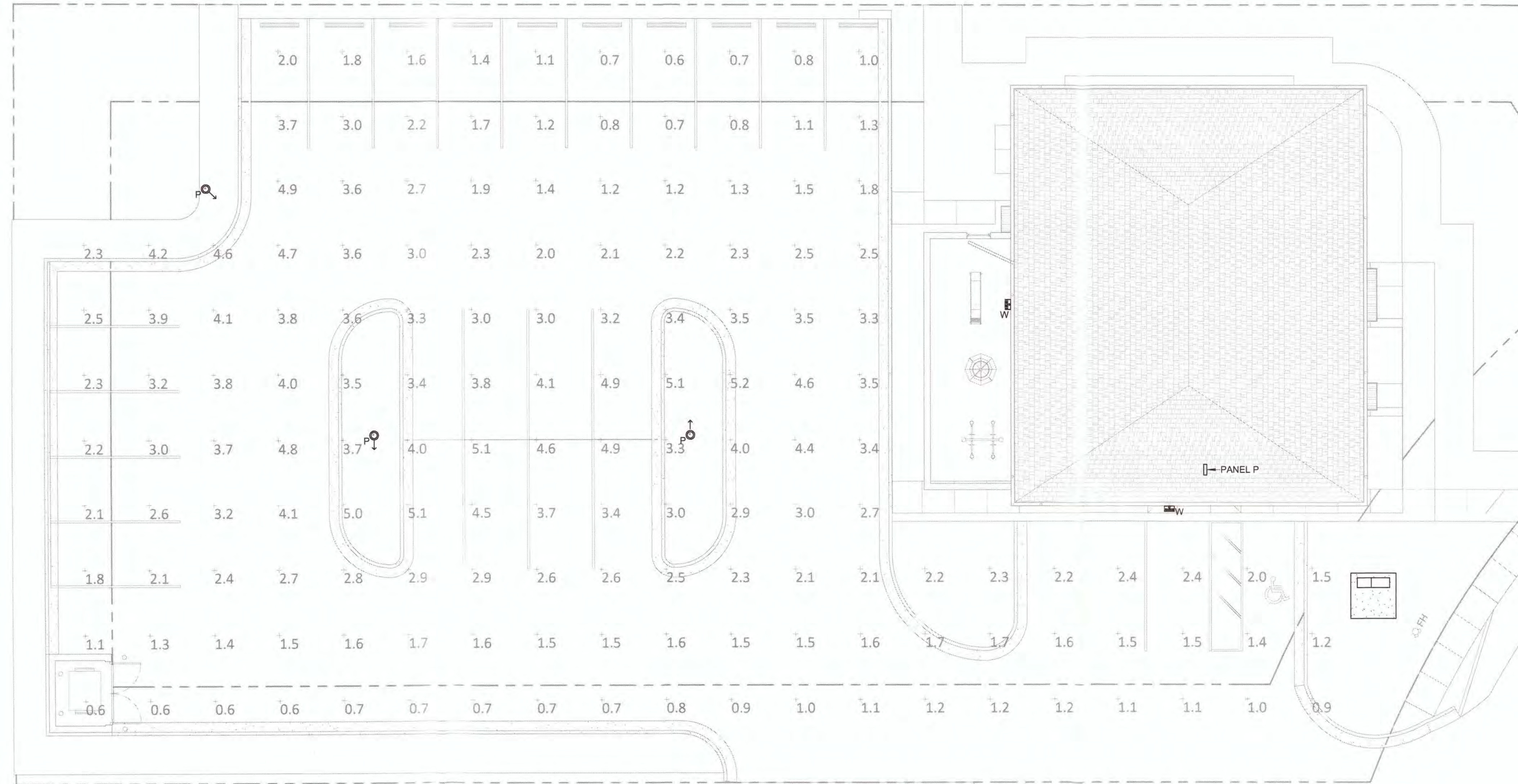
New Building
Irby Psychological
Lot #17 Cobblestone Office Park, Southaven MS 38672

Project No.: 22126
Date: 06/30/2023
Drawn by: JH
Checked by: DWT

REVISIONS

CONSTRUCTION DOCUMENTS
A102
Landscape Plan

Plot Date & Time: 6/30/2023 2:58:55 PM



Symbol	Tag	Label	Description
[Symbol]		WDGE3 LED P1 70CRI R3 40K	WDGE3 LED P1 70CRI R3 40K
[Symbol]	P	A850SRLED-32L-40-T3-MDL016	A850SRLED-32L-40-T3-MDL016

Label	CalcType	Units	Avg	Max	Min	Avg/Min
Parking Lot	illuminance	Fc	2.41	5.2	0.6	4.02

Specification Sheet

old town
ABSORLED Intellithree

Project Name _____ City _____
Type _____ Catalog / Part Number _____

Distribution Type
Type 2 Type 3 Type 4 Type 5

CCT - Color Temperature (K)
2,700K 3,000K 3,500K 4,000K 5,000K

7 Year Warranty

IP Rating
IP65

Certifications
UL LISTED

Description
The ABSORLED Old Town Intellithree luminaire blends form and function into a classic shape. It is supplied with a cast aluminum finish and a solid, cast aluminum roof which includes optimized heat sink to provide maximum life and performance for the LED light source. The zoom is recessed to the cast aluminum roof to provide a moisture free and bug-free optical chamber for the LED light source.
EPA: 1.4 (F)
WEIGHT: 50 LBS

Mounting Configuration
TW: Wall Mount
TA: 1 Arm Mount
ZAW: 2 Arm Mount @ 90°
PT: Post Top
ZA: 2 Arm Mount @ 180°

Optional Features
FND: Double Fuse and Holder
HSS: 120" House Side Shield
RUC: Back Light Optical Control

Physical
Finish: ABSORLED- ABSORLED
Filter: F10-3: Intellithree Filter
Lens: A: Clear Textured Acrylic Acorn
F: Clear Textured Polycarbonate Acorn

Optional Ring
CDE: Cast Decorative Ring
CDEK: Cast Decorative Ring with Custom Logo
PDR: Perforated Brass Decorative Ring, Raw Brass
PDRP: Perforated Brass Decorative Ring, painted to match

Stenberg Lighting
880 Lawrence Ave., Franklin, IL 60141, USA
Contact: 815-398-3800
www.stenberglighting.com

WDGE3 LED Architectural Wall Scape

Introduction
The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with night&AIR wireless controls, the WDGE family provides additional energy savings and code compliance. WDGE3 has been designed to deliver up to 12,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.

Specifications
Depth (D): 6"
Depth (D2): 1.5"
Height: 9"
Width: 15"
Weight: 19.3 lbs (without optional)

WDGE LED Family Overview

Luminaire	Mounting	Cut-off	Beam	F1	F2	F3	F4	F5	F6
WDGE3-15	HW	15°	Standard	1,200	2,000	3,000	4,500	6,000	—
WDGE3-15	HW	15°	Standard	1,200	2,000	3,000	4,500	6,000	—
WDGE3-15	HW	15°	Standard	1,200	2,000	3,000	4,500	6,000	—
WDGE3-15	HW	15°	Standard	1,200	2,000	3,000	4,500	6,000	—

Ordering Information
EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DOBBD

Series	Package	Color Temperature	CR	Beam	Mounting	Shipping	Shipped separately
WDGE3 LED	P1	40K	70CRI	R3	HW	SRM	Shipped separately
	P2	40K	70CRI	R3	HW	SRM	Shipped separately
	P3	40K	70CRI	R3	HW	SRM	Shipped separately

Accessories
WDGE3-15: 15" High Intellithree luminaire
WDGE3-15-2: 15" High Intellithree luminaire with 2" depth

NOTES
1. All units are available in 4000K and 5000K.
2. Not qualified for DCC. Not available with emergency battery backup or sensor controls.
3. PS not available in 4000K and 5000K with sensor controls.
4. DCC option not available with sensor controls.
5. Not available with E20HC option.

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Cumers, Georgia 30012 • Phone: 1-800-755-SERV (7378) • FAX: 770-322-3333 • www.lithoniamfg.com

ARCHITECTURAL & ENERGY RESOURCES FOR CONSTRUCTION

Douglas W. Thornton, AIA
342 West Valley Street
Hernando, MS 38632
p 662.298.0057
f 662.298.0061

www.AERCpllc.com

New Building
Irby Psychological
Lot #17 Cobblestone Office Park, Southaven MS 38672

Project No.: 22126
Date: 06/28/23
Drawn by: DPW
Checked by: SMW

REVISIONS

No.	Description

CONSTRUCTION DOCUMENTS

E004
Site Photometric Plan

ANUP ENGINEERING, INC.
ELECTRICAL ENGINEERING CONSULTANTS
3100 ARKING ROAD • BARTLETT, TENNESSEE 38153
PHONE: (901) 379-9762 • www.anupeng.com

****SEE COLORS BELOW FOR ACURATE SPECIFIED PRODUCT INFORMATION. RENDERING IS JUST FOR CONCEPT****



architectural
& energy
resources for
construction

Douglas W. Thornton, AIA
342 West Valley Street
Hernando, MS 38632
p 662.298.0057
f 662.298.0061

www.AERCpllc.com



New Buidling
Irby Psychological
Lot #17 Cobblestone Office Park, Southaven MS 38672

Project No.: 22126
Date: 7/31/2023
Drawn by: jh
Checked by: dwt

REVISIONS

CONSTRUCTION
DOCUMENTS

A900
Exterior Finishes



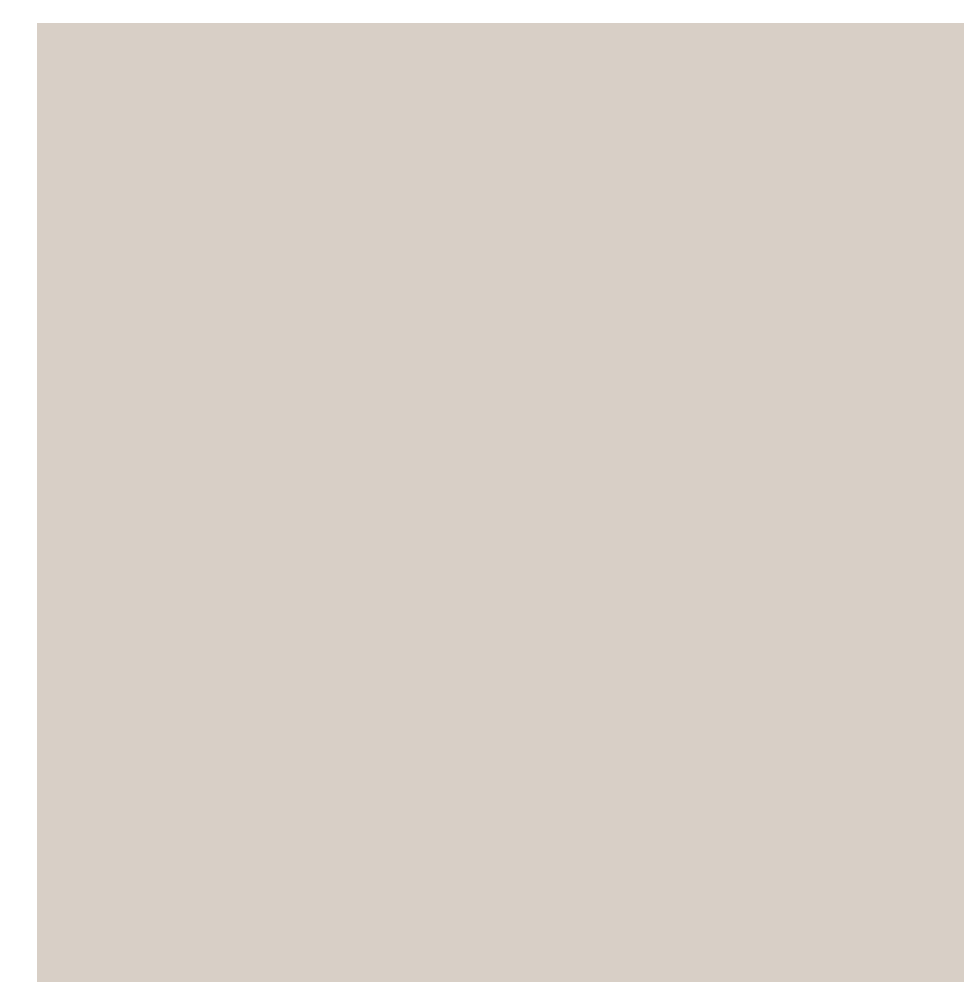
TAMKO WEATHERED WOOD
ARCHITECTURAL SHINGLES



CHEROKEE BRICK: BUCKINGHAM,MS



DARK BRONZE DOORS, WINDOWS,
GUTTERS, & DOWNSPOUTS



TRIM: SHERWIN WILLIAMS
9576 WHIRLWIND



SHUTTERS: SHERWIN WILLIAMS
9595 BRAINTREE

Plot Date & Time: 8/29/2023 8:57:12 AM

City of Southaven
Office of Planning and Development
Subdivision Staff Report

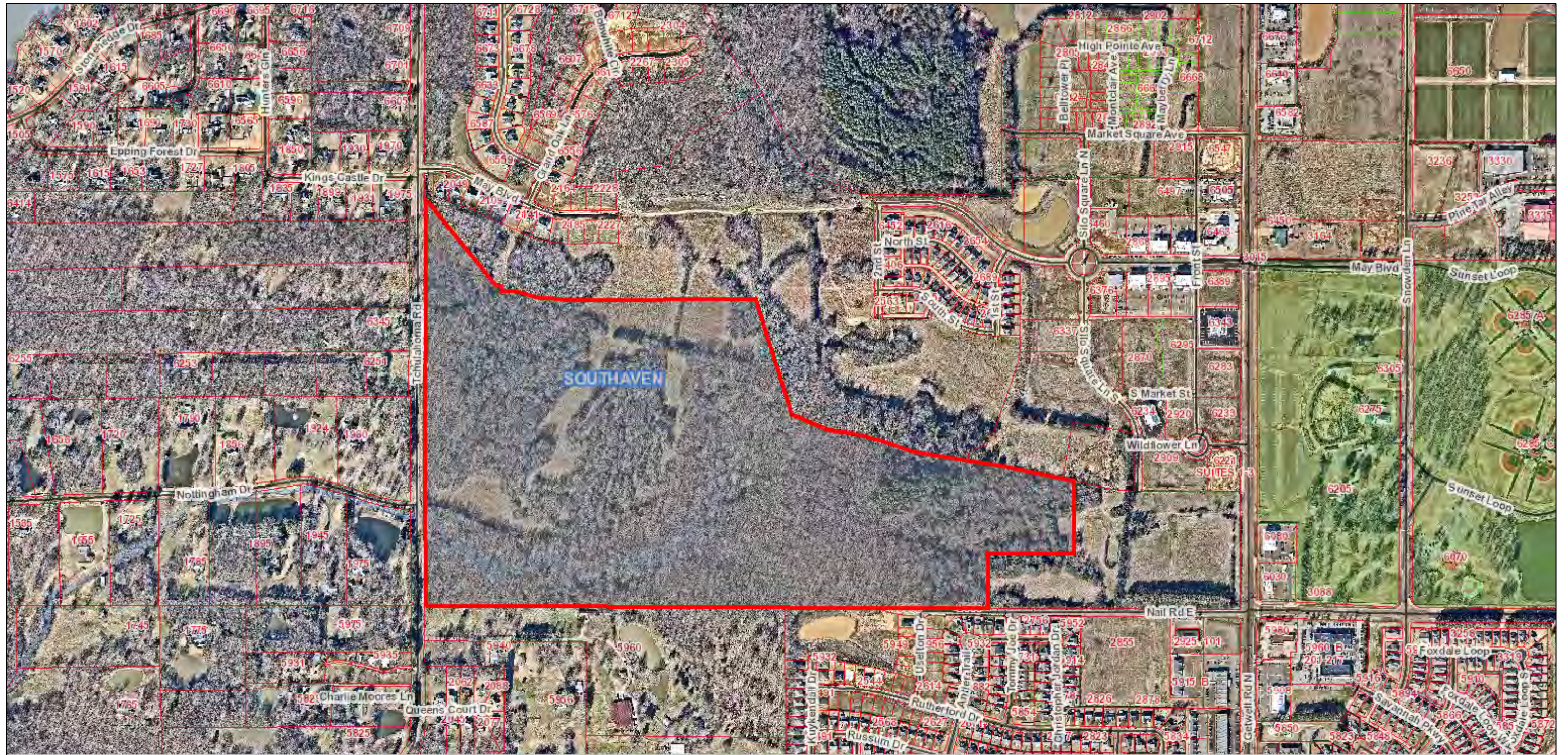


Date of Hearing:	September 25, 2023
Public Hearing Body:	Planning Commission
Applicant:	SMJ Enterprise 8275 Tournament Drive Suite 100 Memphis, TN 38125 901-440-1372
Total Acreage:	23.380 acres
Existing Zone:	Planned Unit Development (Serenity Pointe)
Location of Subdivision Application	North of Nail Road, east Tchulahoma Road.
Comprehensive Plan Designation:	Medium density residential
Staff Comments:	
<p>The applicant is requesting subdivision approval for Serenity Pointe Phase 1 Area C on the north side of future Nail Road, east side of Tchulahoma Road. This phase includes 34 homes with a lot size between 10,760 sq. ft. and 19,077 sq. ft. with a minimum house size of 2,800 sq. ft. The access for this phase comes directly off of Tchulahoma Road with a boulevard style design. Two large common open spaces are shown on both sides of the entryway area. There are two stub outs for future development of the subdivision with one carrying to the north and the other extending the proposed “Street A” shown to carry from Tchulahoma Road to the east. Tchulahoma Road is shown with fifty-three (53’) of ROW dedication with a typical section showing a widened area and a multi-use path extension from the existing one to the north. The interior roads show a thirty one (31) foot ROW with a sidewalk and greenery area behind the ROW in the private lots.</p>	
Staff Recommendations:	
<p>The proposed design is compliant with the requirements set forth in the PUD text approved in 2022. Staff has two comments regarding roads:</p> <ol style="list-style-type: none"> 1. Tchulahoma Road improvements are the responsibility of the developer of the property. The applicant will need to work with the city engineering consultants to finalize the design needed for the entrance widening as well as the multi-use path extension. An agreement will have to be reached and the paperwork will need to be signed by both parties prior to platting. 2. Normal residential street ROW is fifty (50) feet which would include two lanes of road along with the five (5) foot grass strip and also the sidewalk. The typical section submitted to staff shows a thirty one (31) foot ROW with two lanes of road and it 	

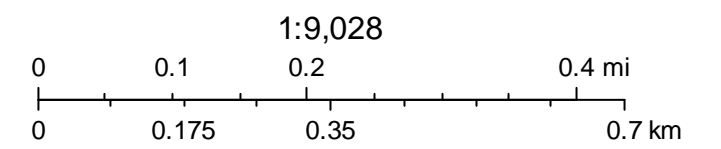
stops at the back of the curb. This design places the sidewalk in private property and all maintenance associated with that sidewalk on the private property owner. Staff is fine with either scenario but does want to make sure that the applicant is aware of that responsibility and the liability that will come with it.

Staff would like the PUD text referenced on the plat since it details out the design criteria as well as the home sizes, etc. Staff would also like confirmation of the formation of the HOA prior to platting as well as a copy of the proposed covenants that can be distributed to the commission for review prior to commission signatures for platting.

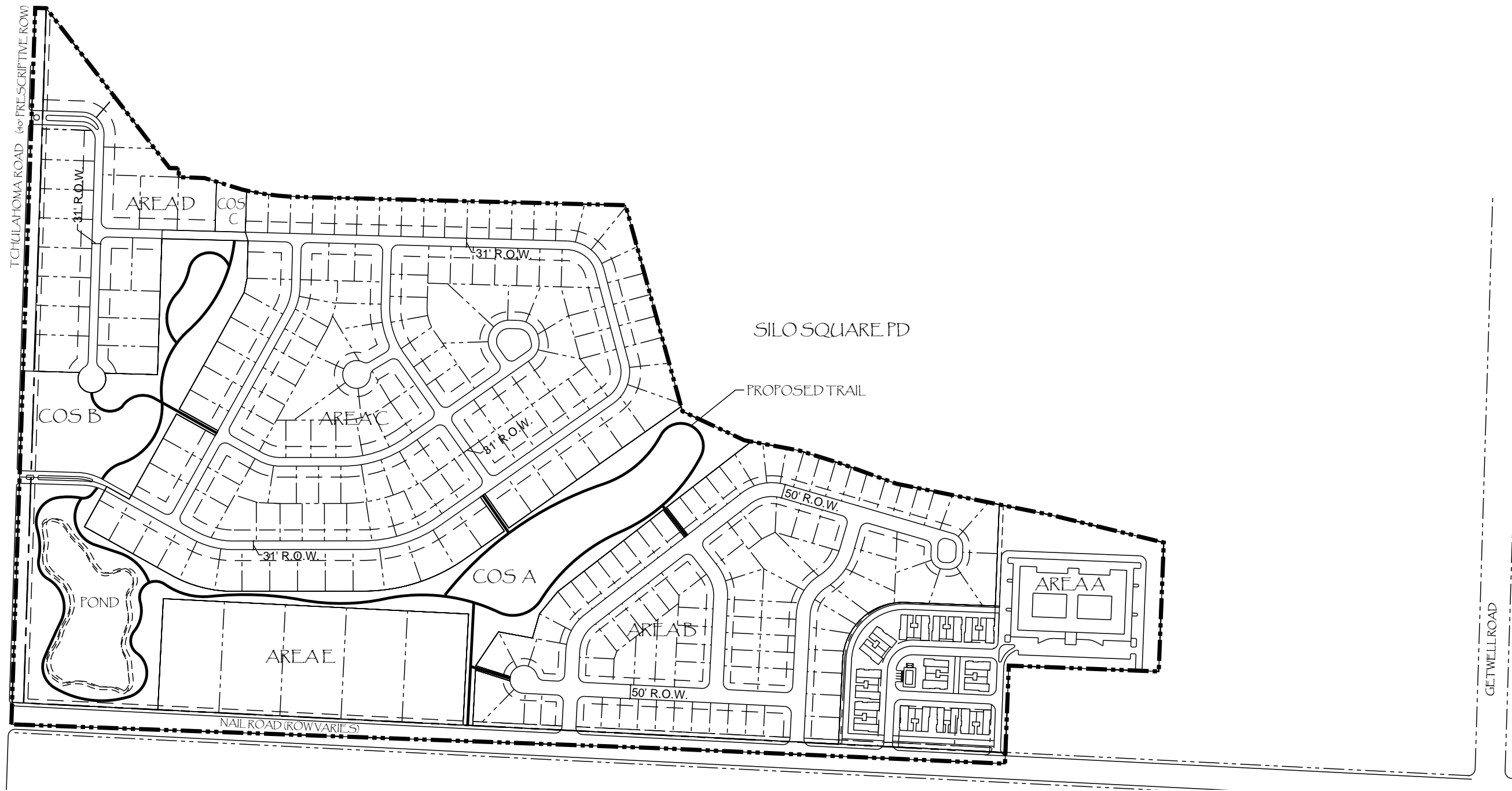
Staff has no further comments and recommends approval pending compliance.



September 20, 2023



SERENITY POINTE PLANNED DEVELOPMENT



Plan Data

SITE GROSS ACREAGE: 144.01 ACRES - 6.71 ACRES DEDICATION = SITE NET ACREAGE 137.30 ACRES

RESIDENTIAL AREAS:

AREA A	ASSISTED LIVING	7.15 ACRES	
AREA A	TOWNHOUSE	6.70 ACRES	- 6.86 DU/AC 46 - 40' x 125' LOTS
AREA B	SINGLE FAMILY RESIDENTIAL	28.27 ACRES	- 3.47 DU/AC 98 - 50' x 125' LOTS
AREA C	SINGLE FAMILY GATED RESIDENTIAL	48.39 ACRES	- 2.87 DU/AC 139 - 80' x 125' LOTS
AREA D	SINGLE FAMILY GATED RESIDENTIAL	11.60 ACRES	- 1.64 DU/AC 19 - 100' x 200' LOTS
AREA E	SINGLE FAMILY RESIDENTIAL	10.10 ACRES	- 0.50 DU/AC 5 - 2 ACRE LOTS
TOTAL RESIDENTIAL USES:		112.20 ACRES,	307 LOTS

OPEN SPACE AREAS:

COS A:	17.06 ACRES
COS B:	7.63 ACRES
COS C:	0.41 ACRES
TOTAL OPEN SPACE:	25.10 ACRES (18.3% OF NET ACREAGE)



1 inch = 400 ft.

CONCEPT PLAN

SERENITY POINTE PLANNED DEVELOPMENT

SNOWDEN FARMS PLANNED DEVELOPMENT OUTLINE CONDITIONS

I. USES PERMITTED

- A. Area A: Single-Family Attached Townhomes/Condominiums and Assisted Living Facility (RM-8 District) Uses shall be permitted as modified herein.
- B. Area B: Single-Family Detached Residential Dwelling (RS-6 District) Uses shall be permitted as modified herein.
- C. Area C: Single-Family Detached Residential Dwelling (RS-10 District) Uses shall be permitted as modified herein.
- D. Area D: Single-Family Detached Residential Dwelling (RS-20 District) Uses shall be permitted as modified herein.
- E. Area E: Single-Family Detached Residential Dwelling (ER District) Uses shall be permitted as modified herein.

II. BULK REQUIREMENTS

- A. Maximum densities. Dwelling Units per acre for the overall Planned Development shall be 2.2 DU/AC or less.
- B. Area A will be subject to the City of Southaven Zoning Code and RM-8 District bulk requirements unless otherwise noted herein.
 - 1. Bulk regulations for Assisted Living Facility Uses shall be as follows:
 - a. Front yard setback: 60 feet minimum
 - b. Side yard setback: 15 feet minimum
 - c. Rear yard setback: 40 feet minimum
 - d. Maximum building height: 60 feet
 - e. Maximum density: 12 DU/AC
 - 2. Bulk Regulations for Single-Family Attached Townhomes/Condominiums shall be as follows:
 - a. Front yard setback: 15 feet minimum
 - b. Side yard setback: 0 feet minimum for attached dwellings and 5 feet minimum for unattached dwellings
 - c. Rear yard setback: 20 feet minimum
 - d. Minimum lot area: 4,000 square feet
 - e. Minimum lot width: 30 feet
 - f. Maximum building height: 35 feet
 - e. Maximum density: 6 DU/AC
- C. Area B will be subject to the City of Southaven Zoning Code and R-6 District bulk requirements unless otherwise noted herein.
 - a. Front yard setback: 25 feet minimum
 - b. Side yard setback: 10 feet minimum
 - c. Rear yard setback: 25 feet minimum
 - d. Minimum lot area: 6,000 square feet
 - e. Minimum lot width: 50 feet
 - f. Maximum building height: 35 feet

- D. Area C will be subject to the City of Southaven Zoning Code and R-10 District bulk requirements unless otherwise noted herein.
 - a. Front yard setback: 40 feet minimum
 - b. Side yard setback: 15 feet minimum
 - c. Rear yard setback: 25 feet minimum
 - d. Minimum lot area: 10,000 square feet
 - e. Minimum lot width: 80 feet
 - f. Maximum building height: 35 feet
- E. Area D will be subject to the City of Southaven Zoning Code and R-20 District bulk requirements unless otherwise noted herein.
 - a. Front yard setback: 40 feet minimum
 - b. Side yard setback: 15 feet minimum
 - c. Rear yard setback: 25 feet minimum
 - d. Minimum lot area: 20,000 square feet
 - e. Minimum lot width: 100 feet
 - f. Maximum building height: 35 feet
- F. Area E will be subject to the City of Southaven Zoning Code and ER District bulk requirements unless otherwise noted herein.
 - a. Front yard setback: 40 feet minimum
 - b. Side yard setback: 15 feet minimum
 - c. Rear yard setback: 25 feet minimum
 - d. Minimum lot area: 2 acres
 - e. Minimum lot width: 220 feet
 - f. Maximum building height: 35 feet
- G. Air conditioning, heating and other mechanical equipment shall be screened using architectural features, plantings, fences, or other means from public rights-of-way and the site perimeter. Proposed screening shall be reviewed and approved by the Architectural Control Committee prior to installation.

III. ACCESS AND CIRCULATION

- A. Nail Road shall be dedicated and improved with curb, gutter, asphalt and sidewalk, fifty-four (54) feet from the center line.
- B. Tchulahoma Road shall be dedicated and improved with curb, gutter, asphalt and sidewalk, fifty-four (54) feet from the center line.
- C. All internal public streets shall be dedicated and improved in accordance with the Streetscape Plates provided herein.

IV. LANDSCAPING

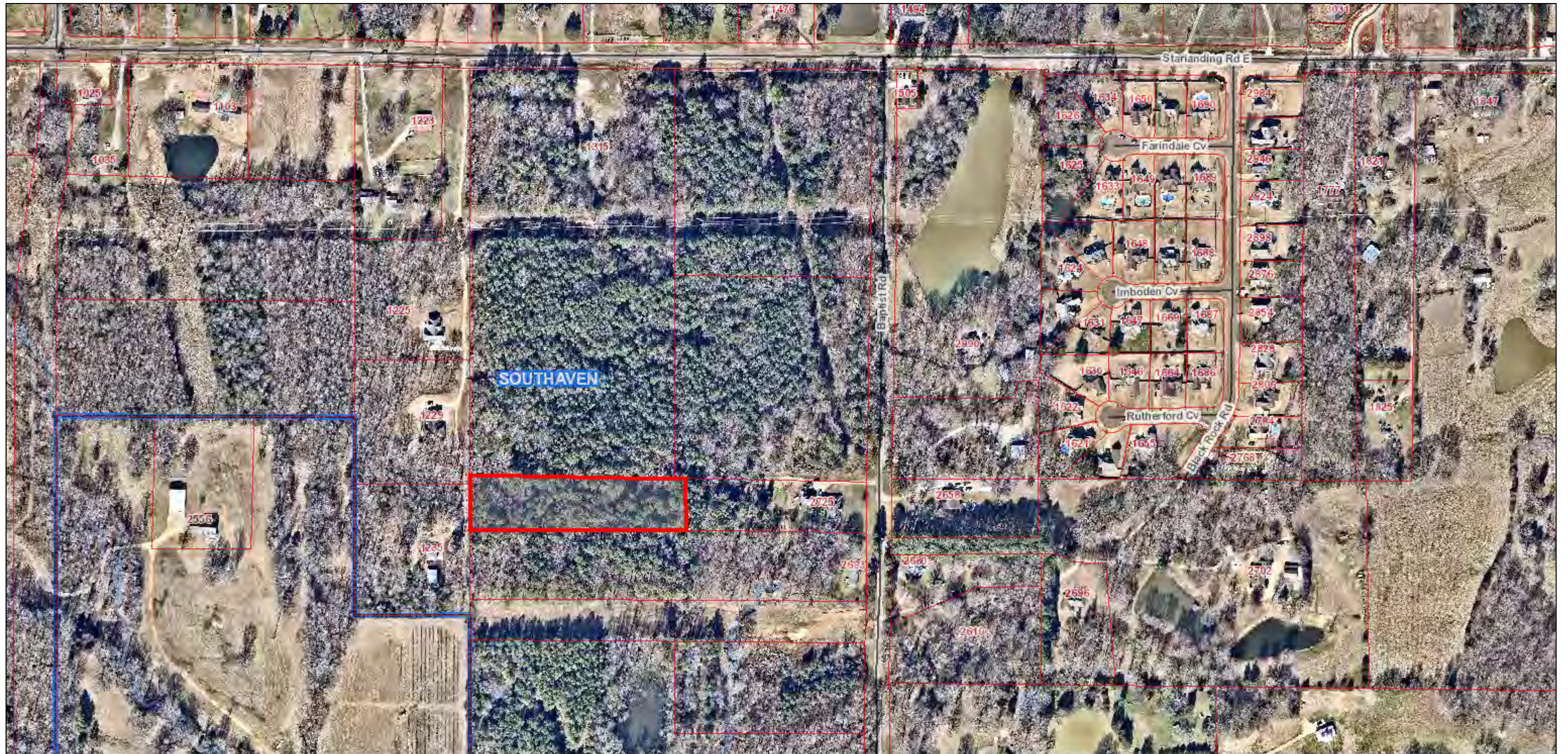
- A. Streetscape areas along Nail Road shall be a minimum fifteen (15) feet in width, Plate 1.
- B. Streetscape areas along Tchulahoma Road shall be a minimum fifteen (15) feet in width, Plate 1.

- C. Streetscape areas along internal roadways shall be a minimum of ten (10) feet in width from back of curb, Landscape Plates 3, 4, and 5.
- D. Proposed public trails shall be provided adequate landscaped areas and clearances, Landscape Plate 7.
- E. Common open space areas, including trees in said areas, shall be owned and maintained by the Owner's Association.
- F. Irrigation of all trees and landscaped areas shall be required.
- G. Alternative landscape designs equivalent to the approved Master Development Plan may be considered at the time of the review of the Design Review Committee.
- H. All utility transformers and telephone pedestals shall be located at least twelve (12) feet from the right-of-way unless site-specific conditions dictate an alternative location.
- I. To further enhance the neighborhood / community setting of the Development, a premium will be placed on the preservation of the natural tree cover and other unique characteristics of the landscape. This is deemed necessary in order to maintain a sense of natural amenity and to preserve the intrinsic environmental values and continuity of mature, native tree cover as a wildlife habitat and as protection against erosion and contamination by runoff on the site. Conceptual site plans shall include a tree survey of all specimen-quality trees on the site. All free-standing trees with a trunk diameter of eight (8) inches or more as measured four and one-half (4 1/2) feet above grade shall be preserved if at all possible. Particular attention shall be given to grade changes and other work within the drip line of trees to be preserved. Grading, drainage and aeration shall be maintained within the drip line of trees to be preserved.

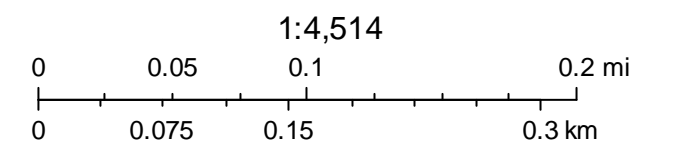
City of Southaven
Office of Planning and Development
Subdivision Staff Report

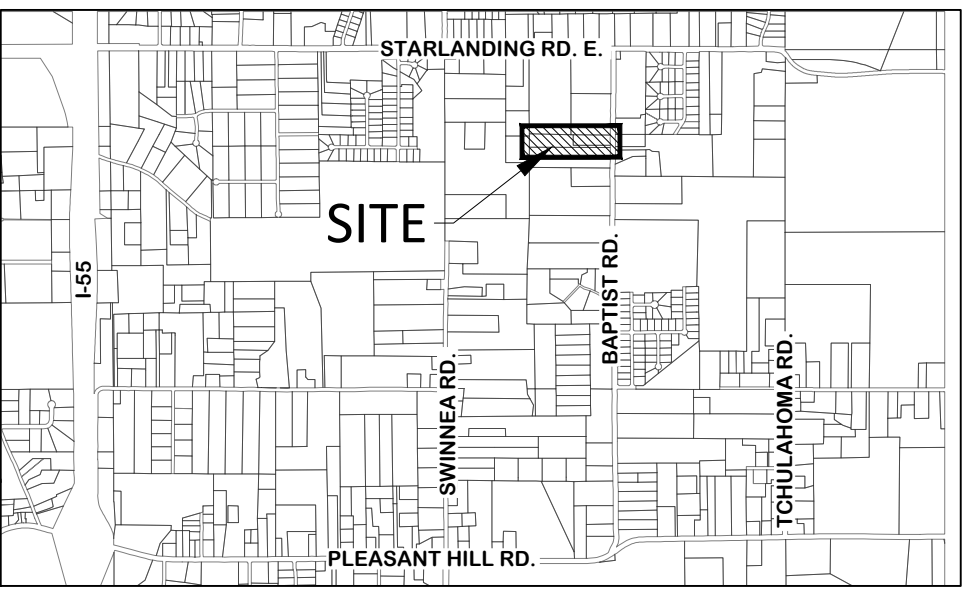
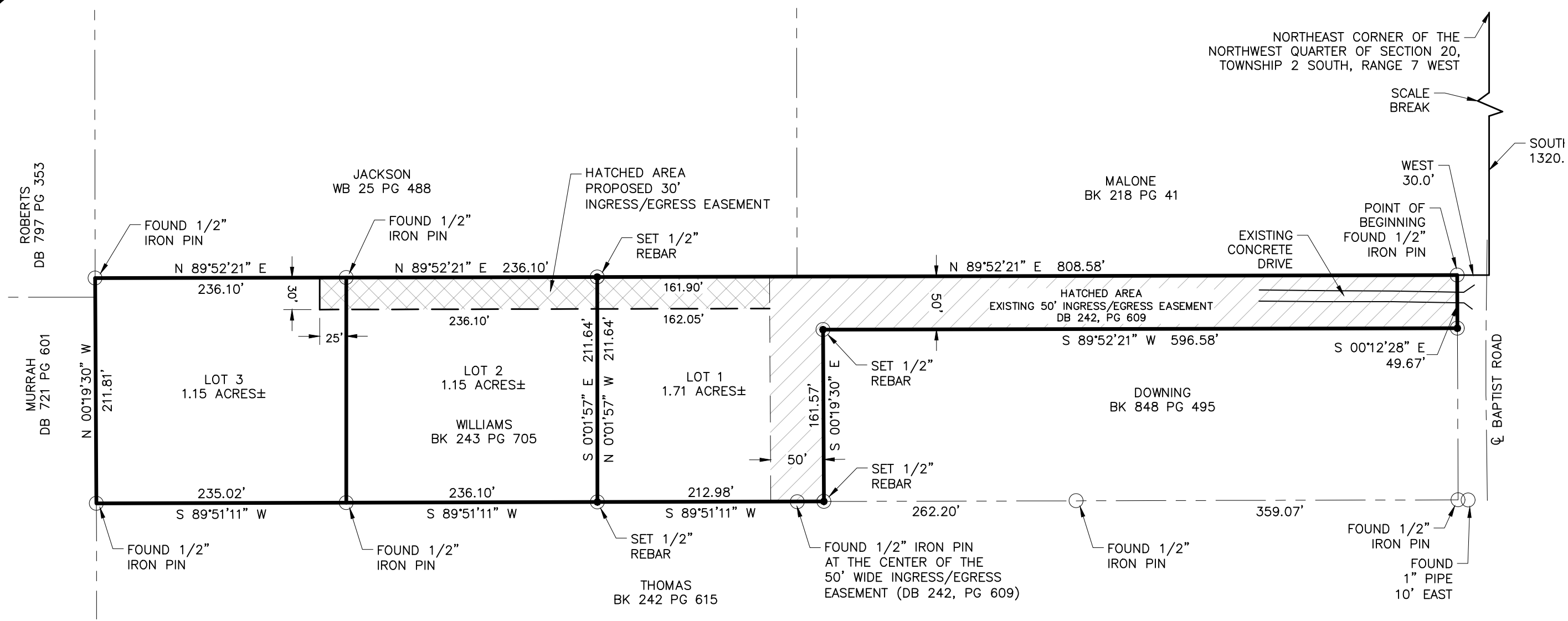


Date of Hearing:	October 3, 2023
Public Hearing Body:	Board of Alderman
Applicant:	Kathy Williams 5305 Nail Road 901-604-8932
Total Acreage:	4.01 acres
Existing Zone:	Agricultural (AG)
Location of Subdivision Application	west side of Baptist Road, south of Star Landing Road
Comprehensive Plan Designation:	Low density residential
Staff Comments:	
<p>The applicant is requesting subdivision approval for a three lot minor subdivision called Vergie Williams Minor Subdivision on the west side of Baptist Road, south of Star Landing Road. The applicant is wanting to take the 4.01 acres and create three lots ranging in size from 1.15 acres to 1.71 acres. The property is family owned and will be occupied as such. The lots are situated behind an existing parcel of land with an existing home. There is an existing fifty (50) foot ingress/egress on the north end of that parcel to allow access to this property. The proposed plat is taking the fifty foot easement and carrying it to this lot and then turning it south to gain access to the landlocked property to the south. The easement is also reduced in size from the fifty (50) feet to thirty (30) feet once it transitions to lots 2 and 3.</p>	
Staff Recommendations:	
<p>The proposed plat is compliant with the requirements set forth in the ordinance regarding minor subdivisions which require the zoning to be agricultural and a maximum of three lots being proposed. Staff has no comments and recommends approval as submitted.</p>	



September 27, 2023





VICINITY MAP
N.T.S.

- NOTES:
1. BEARINGS REFERENCED BY GPS AND BASED ON MISSISSIPPI STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD 83, US FOOT. AZIMUTH ORIENTATION IS FROM ZERO GRID NORTH. CONVERGENCE ANGLE=00°12'41.46". SCALE FACTOR = 0.99996406.
 2. DISTANCES AND COORDINATES SHOWN ARE GRID VALUES, US SURVEY FEET, MISSISSIPPI STATE PLANE COORDINATES, WEST ZONE, NAD 83 DATUM.
 3. FIELD SURVEY COMPLETED: MAY 12, 2023.
 4. THIS IS A CLASS "B" SURVEY.
 5. 1/2" REBAR SET AT ALL CORNERS UNLESS NOTED.

OWNER'S CERTIFICATE

I, _____, OWNER OR AUTHORIZED REPRESENTATIVE OF THE OWNER OF THE PROPERTY, HEREBY ADOPT THIS AS MY PLAN OF SUBDIVISION AND DEDICATE THE RIGHT OF WAYS FOR THE ROADS AS SHOWN HEREIN TO THE PUBLIC USE FOREVER, AND RESERVE FOR THE PUBLIC UTILITIES THE UTILITY EASEMENTS AS SHOWN ON THE PLAT. I CERTIFY THAT I AM THE OWNER IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE. THIS THE _____ DAY OF _____, 20____.

OWNER OR AUTHORIZED REPRESENTATIVE

NOTARY'S CERTIFICATE
STATE OF MISSISSIPPI, COUNTY OF DESOTO

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR DESOTO COUNTY, MISSISSIPPI, THE WITHIN NAMED _____, WHO ACKNOWLEDGED THAT (HE)(SHE) SIGNED AND DELIVERED THE FOREGOING PLAT FOR THE PURPOSE THEREIN MENTIONED. GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES

CITY OF SOUTHAVEN PLANNING COMMISSION

APPROVED BY THE CITY OF SOUTHAVEN PLANNING COMMISSION ON THIS THE _____ DAY OF _____, 20____.

CHAIRMAN

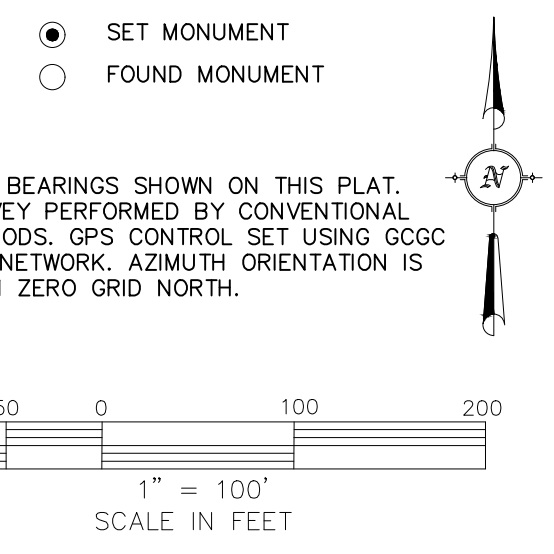
ATTEST:SECRETARY

CITY OF SOUTHAVEN
MAYOR AND BOARD OF ALDERMAN

APPROVED BY THE MAYOR AND BOARD OF ALDERMAN OF THE CITY OF SOUTHAVEN ON THIS THE _____ DAY OF _____, 20____.

MAYOR

CHANCERY COURT CLERK



SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT THIS PLAT WAS DRAWN FROM A GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION OF THE PHYSICAL FEATURES FOUND AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



EVERETTE D. WEST, IV, PLS #3234

WEST SURVEYING, LLC.

185 Peek Road (901) 485-7616
Red Banks, MS 38661 westsurveying@gmail.com

VIRGIE WILLIAMS
MINOR LOT SUBDIVISION
4.01 ACRES± - 3 LOTS
LOCATED IN THE NORTHWEST QUARTER OF
SECTION 20, TOWNSHIP 2 SOUTH, RANGE 7 WEST,
CITY OF SOUTHAVEN, DESOTO COUNTY, MISSISSIPPI

REVISIONS	SURVEY: EW	SHEET NO.
	DRWN: EW	1
	CHKD:	
	DATE: MAY 12, 2023	

21.
Mayor's
Report

Personnel Docket

October 3, 2023

New Hires	Department	Position Title	Start Date	Rate of Pay
Steven Mahan	Police	Police Officer 3	10/9/2023	\$28.97
Shaquille Moore	Police	Police Officer 1	10/9/2023	\$25.99
Jonathan Franklin	Police	Police Officer 1	10/9/2023	\$25.99
Stephanie White	FDA	Staff Accountant	TBD	\$50,000 annually

Promotions	Current Position Title	New Position Title	Effective Date	Rate of Pay
Bryce Gray	Police Officer 2	Police Officer 3	10/9/2023	\$27.03
Keeith Barclay	EMS Driver	Paramedic	10/3/2023	\$24.15

Resignations/Terminations	Department	Current Position Title	Effective Date	Rate of Pay
Hannah Ott	Fire	Paramedic	10/6/2023	\$21.22

23.

City Attorney's
Legal Update

UTILITIES BILL LEAK ADJUSTMENT DOCKET 10/03/2023

The addresses below experienced unforeseen circumstances in their utilities for which no benefit was received.

1	RESIDENTIAL	BRITT MARY	2911	MANNING CIR S	(71.04)	POOL ADJUSTMENT
2	RESIDENTIAL	PARRISH CARRIE	2305	KILLEGLAN	(103.60)	POOL ADJUSTMENT
3	RESIDENTIAL	NADINE COOPER	7668	IRIS CV	(298.35)	LEAK ON VALVE TO IRRIGATION SYSTEM
4	RESIDENTIAL	RYAN ENGLAND	1240	SAINT CLAIRE PARK	(362.70)	TOILET LEAK
5	RESIDENTIAL	DINAH MCNEAL SLAUGHTER	9050	OAKLAWN DR	(58.50)	TOILET AND TUB LEAK
6	RESIDENTIAL	IRMA JOHNSON	4801	DERBY DR	(114.91)	TOILET LEAK AND LEAK BEHIND WALL IN MASTER BEDROOM
7	RESIDENTIAL	SYLVIA TREJO	8193	BROOKSVILLE CV	(52.65)	REPLACED LINE IN YARD
8	RESIDENTIAL	SANDRA BROWN	2159	CUSTER DR	(210.60)	TOILET LEAK
9	RESIDENTIAL	TANYA WOODLAND	2480	CHURCH RD E	(35.10)	TOILET LEAK
10	RESIDENTIAL	STEVE GLITCHEL	7441	CHARDBARK PT	(93.60)	SERVICE LINE LEAK
11	RESIDENTIAL	ROBERT SHOVER	3220	BRAMBLEWOOD CV	(8.88)	POOL ADJUSTMENT
12	RESIDENTIAL	MELINDA MATTILA	8660	DOVE HILL DR	(32.56)	POOL ADJUSTMENT
13	RESIDENTIAL	CARTER TODD	2347	PRIORESS DR	(62.16)	POOL ADJUSTMENT
14	RESIDENTIAL	THOMAS BELL	1520	BRENTWOOD TRACE	(280.80)	TOILET LEAK
15	RESIDENTIAL	ANDERSON RICK	2440	CHURCH RD E	(41.44)	POOL ADJUSTMENT
16	RESIDENTIAL	CLAIRE MCKEE	8525	FARMINGTON CV	(64.00)	POOL ADJUSTMENT
17	RESIDENTIAL	LAUREN DAVES	6573	SUNNY MEADOWS	(121.36)	POOL ADJUSTMENT
18	RESIDENTIAL	NELLIE STANLEY	2031	BROOKHAVEN	(8.88)	POOL ADJUSTMENT
19	RESIDENTIAL	MELISSA BURNS	8269	GREENBROOK PKWY	(23.02)	POOL ADJUSTMENT
20	RESIDENTIAL	JESSICA DAMRON	147	HILLBROOK DR	(44.40)	POOL ADJUSTMENT
21	RESIDENTIAL	JAYALN BENSON	821	PINESTONE PL	(107.09)	TOILET LEAK
22	RESIDENTIAL	LETORIA MINTON	8802	ARENDALE DR	(187.20)	TOILET LEAK
23	RESIDENTIAL	VICTORIA BROWN	2060	COLONIAL HILLS	(620.10)	SERVICE LINE LEAK
24	RESIDENTIAL	ARCHIE RICE	7160	PECAN HILL	(58.50)	TOILET LEAK
25						
26						
27						
28						
29						
30						
31						
32						
33						
34						
36						
				TOTAL	(3061.44)	

UTILITIES DIRECTOR APPROVAL Ray Humphrey

DATE: 9-29-23



The City of Southaven Docket Recap OCTOBER 3, 2023

General Fund		2,011,337.23
Balance Sheet	1,545,748.34	
Mayor Admin	259.32	
Board of Aldermen	-	
Arts And Cultural Affairs	1,785.00	
Court	6,858.87	
Finance & Administration	163.87	
Information Technology	7,013.91	
City Clerk	576.94	
Operations Department	2,165.38	
Planning & Engineering	3,043.50	
Emergency Services	3,531.20	
Police	45,993.77	
Fire	23,489.92	
Fire Prevention	-	
EMS	3,726.22	
Public Works	14,426.77	
Streets	4,478.25	
Parks	139,242.10	
Park Tournaments	94,793.19	
Code Enforcement	3,221.20	
City Fuel	38,745.07	
Expense Accounts	70,824.41	
Administrative Expenses	1,250.00	
Litigation	-	
Liability Insurance	-	
Professional Dues	-	
Bond Funded CAP Proj		-
Tourist & Convention		573,959.26
Debt Service		-
Utility Fund		532,710.50
Sanitation Fund		2,107.44
Payroll Fund		679,002.25
DOCKET TOTAL		3,799,116.68

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
0010		GENERAL FUND						
0010	500700			RECREATIONAL FEES				
038411	JOHNSON JOHN	9-5-2023	0	2023 12	INV A	65.00	C-FY2023	NEVER STARTED- AVA
038411	JOHNSON JOHN	9-5-23	0	2023 12	INV A	65.00	C-FY2023	NEVER STARTED- AUDR
						130.00		
038412	MAGNUSON ANDREA	9-15-23	0	2023 12	INV A	65.00	C-FY2023	REGISTRATION ISSUES
038429	WILLIS YOICHI	9-19-2023	0	2023 12	INV A	65.00	C-FY2023	CHILD DIDN'T PLAY-V
				ACCOUNT TOTAL		260.00		
				ORG 0010	TOTAL	260.00		
111		MAYOR ADMIN DEPARTMENT						
111	622100			PROFESSIONAL SERVICES				
007507	DESOTO COUNTY ECONOM 8189		0	2023 12	INV A	25.00	C-FY2023	QUARTERLY LUNCHEON
				ACCOUNT TOTAL		25.00		
				ORG 111	TOTAL	25.00		
120		FOREVER YOUNG SENIOR SERVIES						
120	622100			PROFESSIONAL FEES				
004489	JOHNSON CINDY	261-23	0	2023 12	INV A	720.00	C-FY2023	AEROBICS
015915	WISEMAN CYNTHIA	913-23	0	2023 12	INV A	315.00	C-FY2023	AEROBIC'S
018134	FORRESTER SHERRY	596-23	0	2023 12	INV A	630.00	C-FY2023	ART TEACHER
021019	CAIN LINDA A	911-23	0	2023 12	INV A	60.00	C-FY2023	INSTRUCTOR
021019	CAIN LINDA A	918-23	0	2023 12	INV A	60.00	C-FY2023	LINE DANCE INST
						120.00		
				ACCOUNT TOTAL		1,785.00		
				ORG 120	TOTAL	1,785.00		
125		COURT DEPARTMENT						
125	621500			COURT BOND REFUND				
001427	AL WILLIAMS BAIL BON	9-13-23	0	2023 12	INV A	500.00	C-FY2023	BOND REMISSION- MAC
038403	MARSHALL ERIC D	9-13-23	0	2023 12	INV A	200.00	C-FY2023	CASH BOND REFUND
038404	MCDOWELL SHIEKA LAQU	9-13-23	0	2023 12	INV A	300.00	C-FY2023	CASH BOND REFUND
038405	HAILEY KALONTE LAMON	9-13-23	0	2023 12	INV A	500.00	C-FY2023	CASH BOND REFUND
038406	BROWER THOMAS WAYNE	9-13-23	0	2023 12	INV A	400.00	C-FY2023	CASH BOND REFUND

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
038407	STREETER QUINTIN SY 9-13-23	0	2023 12	INV A	67.00	C-FY2023	CASH BOND REFUND	
038408	DAVIS JANEISHA ALEXI 9-13-23	0	2023 12	INV A	22.00	C-FY2023	CASH BOND REFUND	
038409	ALLEN JEROME DARNELL 9-13-23	0	2023 12	INV A	21.00	C-FY2023	CASH BOND REFUND	
038410	LLOYD BRITTONI 9-13-23	0	2023 12	INV A	134.00	C-FY2023	CASH BOND REFUND	
038418	FELIX-CARRILLO JEZRE 9-19-23	0	2023 12	INV A	8.00	C-FY2023	CASH BOND REFUND	
038426	COLLINS DEVONTE ADAM 9-19-2023	0	2023 12	INV A	300.00	C-FY2023	CASH BOND REFUND	
038427	OWENS DEVINE T 9-19-2023	0	2023 12	INV A	300.00	C-FY2023	CASH BOND REFUND	
038428	VASHUN TREVEZ HILL 9-22-23	0	2023 12	INV A	144.00	C-FY2023	CASH BOND REFUND	
038432	BURT ZAYLOLN TERRELL 9-20-2023	0	2023 12	INV A	200.00	C-FY2023	CASH BOND REFUND	
038433	LOPEZ JOSIE M 9-21-2023	0	2023 12	INV A	250.00	C-FY2023	CASH BOND REFUND	
038434	ROBERSDN MADISON BRE 9-21-2023	0	2023 12	INV A	300.00	C-FY2023	CASH BOND REFUND	
038435	APPLEWHITE-HIERS CUL 9-20-2023	0	2023 12	INV A	250.00	C-FY2023	CASH BOND REFUNDS	
038436	WRIGHT JR MITCHELL L 9-20-2023	0	2023 12	INV A	150.00	C-FY2023	CASH BOND REFUND	
038437	ARMSTRONG JESSE EDWA 9-20-2023	0	2023 12	INV A	86.00	C-FY2023	CASH BOND REFUND	
038438	MYERS MICHAEL DEXTER 9-20-2023	0	2023 12	INV A	100.00	C-FY2023	CASH BOND REFUND	
038439	CRUTCHFIELD MATTIE 9-25-2023	0	2023 12	INV A	500.00	C-FY2023	CASH BOND REFUND-KE	
038484	FLOYD LATRAVIS DEVON 9-26-2023	0	2023 12	INV A	150.00	C-FY2023	CASH BOND REFUND	
	ACCOUNT TOTAL				4,882.00			
125	621501			COURT FINES				
024253	AMERICAN MUNICIPAL S 58109	0	2023 12	INV A	20.00	C-FY2023	COLLECTION FEES AUG	
	ACCOUNT TOTAL				20.00			
125	621505			COURT SUPPLIES				
007600	ODP BUSINESS 327369830001	0	2023 12	INV A	24.91	C-FY2023	CARD PROTECTORS	
007600	ODP BUSINESS 327374827001	0	2023 12	INV A	30.86	C-FY2023	FILE FOLDER LABELS	
007600	ODP BUSINESS 327877574001	0	2023 12	INV A	65.94	C-FY2023	FILE PRODUCTS FILE	
007600	ODP BUSINESS 327881462001	0	2023 12	INV A	47.99	C-FY2023	MANILLA ENVELOPES	
007600	ODP BUSINESS 328156057001	0	2023 12	INV A	43.98	C-FY2023	COURT STAMPS	
					213.68			
014117	MADISON SIGNS LLC 16841	0	2023 12	INV A	750.00	C-FY2023	TRAFFIC TICKET JACK	

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
029120 YOUNG LEASING CO	INV6545061	0	2023 12	INV	A	62.30	C-FY2023	AAA14356/AAA14357-C
ACCOUNT TOTAL						1,025.98		
125 622100			PROFESSIONAL SERVICES					
016415 STATE TREASURER OF M	9-14-23	0	2023 12	INV	A	8.00	C-FY2023	UNCLAIMED PROPERTY
029556 PATEL HITEN H	9-20-23	0	2023 12	INV	A	200.00	C-FY2023	SPECIAL PROSECUTOR
029556 PATEL HITEN H	9-22-23	0	2023 12	INV	A	200.00	C-FY2023	SPECIAL PROSECUTOR-
						400.00		
ACCOUNT TOTAL						408.00		
ORG 125 TOTAL						6,335.98		
150			INFORMATION TECHNOLOGY					
150 610400			OFFICE SUPPLIES					
030629 AMAZON CAPITAL	16TD-GDPP-RXVQ	0	2023 12	INV	A	198.00	C-FY2023	IT SUPPLIES
ACCOUNT TOTAL						198.00		
150 610500			COMPUTERS					
029120 YOUNG LEASING CO	INV6535590	0	2023 12	INV	A	24.79	C-FY2023	AAA104054- IT COPIE
030629 AMAZON CAPITAL	14L7X91H197M	0	2023 12	INV	A	167.95	C-FY2023	2) POE INJECTORS AM
030629 AMAZON CAPITAL	167RHW3HRDJV	0	2023 12	INV	A	21.67	C-FY2023	POWER SUPPLY LAPTOP
030629 AMAZON CAPITAL	19PX1MHY93JR	0	2023 12	INV	A	279.91	C-FY2023	OFFICE DECOR/SUPPLI
030629 AMAZON CAPITAL	1CLW-7Y7V-9PK7	0	2023 12	INV	A	2,634.95	C-FY2023	FLUKE TESTER FOR IT
030629 AMAZON CAPITAL	1HLH-GR1T-RMYP	0	2023 12	INV	A	34.98	C-FY2023	KEYBOARD & MOUSE FO
030629 AMAZON CAPITAL	1LDM1JQX1TC7	0	2023 12	INV	A	37.88	C-FY2023	CAR CHARGER GETAC M
030629 AMAZON CAPITAL	1LKYMNR6679C	0	2023 12	INV	A	26.94	C-FY2023	SSD-PARKS COOK LAPT
030629 AMAZON CAPITAL	1XGM-RCGN-VDD1	0	2023 12	INV	A	29.99	C-FY2023	MOUSE FOR DIANE - W
						3,234.27		
ACCOUNT TOTAL						3,259.06		
150 610550			NETWORK CONNECTIVITY					
000952 TYLER TECHNOLOGIES	45-437265	0	2023 12	INV	A	342.33	C-FY2023	SAAS FEES 9/1-9/30/
ACCOUNT TOTAL						342.33		
150 612500			UNIFORMS					
030298 BRAKE JOSHUA K.	9-15-23	0	2023 12	INV	A	50.00	C-FY2023	UNIFORM PANTS REIMB
ACCOUNT TOTAL						50.00		
150 625700			TELEPHONE/POSTAGE					
030629 AMAZON CAPITAL	16TD-GDPP-673G	0	2023 12	INV	A	24.99	C-FY2023	CAR MOUNT CELL PHON
ACCOUNT TOTAL						24.99		

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
			ORG 150	TOTAL				3,874.38	
155									CITY CLERK
155	610400								OFFICE SUPPLIES
030629	AMAZON CAPITAL	1RKWTHKQ1YQ6	0	2023 12	INV A			30.36	C-FY2023 SUPPLIES
								30.36	ACCOUNT TOTAL
155	610401								OFFICE SUPPLY-INVENTORY
007600	ODP BUSINESS	328617147001	0	2023 12	INV A			30.37	C-FY2023 INVENTORY
								30.37	ACCOUNT TOTAL
155	622100								PROFESSIONAL SERVICES
001339	CREDIT CARD CENTER	10-13-23	0	2023 12	INV A			3.62	C-FY2023 TRAVEL CARD--#8906 9
029120	YOUNG LEASING CO	INV6530241	0	2023 12	INV A			77.15	C-FY2023 AAA126707-CITY CLER
								80.77	ACCOUNT TOTAL
155	625700								TELEPHONE & POSTAGE
000971	PITNEY BOWES GLOBAL	1023912499	0	2023 12	INV A			142.79	C-FY2023 POSTAGE INK REFILL
								142.79	ACCOUNT TOTAL
			ORG 155	TOTAL				284.29	
160									FACILITIES
160	610400								OFFICE SUPPLIES
007823	AMERICAN PAPER & TWI	4743842	0	2023 12	INV A			52.73	C-FY2023 HAND SOAP REFILL (J
007823	AMERICAN PAPER & TWI	4745089	0	2023 12	INV A			28.18	C-FY2023 60 GALLON TRASH BAG
								80.91	
030629	AMAZON CAPITAL	1WCL-6LMC-1D1L	0	2023 12	INV A			87.72	C-FY2023 CITY HALL PAPER TOW
								168.63	ACCOUNT TOTAL
160	611000								MATERIALS
000457	GRAINGER	9832395637	0	2023 12	INV A			41.52	C-FY2023 DRYWALL SANDING
000687	SOUTHERN PIPE & SUPP	8088074	0	2023 12	INV A			4.82	C-FY2023 PLUMBING MATERIALS
000687	SOUTHERN PIPE & SUPP	8097231	0	2023 12	INV A			91.68	C-FY2023 PLUMBING MATERIALS
000687	SOUTHERN PIPE & SUPP	8174608	0	2023 12	INV A			27.40	C-FY2023 PLUMBING MATERIALS
								123.90	
001102	SOUTHAVEN SUPPLY	198695	0	2023 12	INV A			858.86	C-FY2023 MAINTENANCE MATERIA
001104	SHERWIN WILLIAMS SOU	366-7	0	2023 12	INV A			85.60	C-FY2023 PAINT MAT.

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
005044	LOWE'S HOME CENTERS, 72523-82223	0	2023 12	INV	A	370.61	C-FY2023	MATERIALS- LOWES
011401	LIGHT BULB DEPOT, LL 31641545	0	2023 12	INV	A	120.00	C-FY2023	BULBS FOR LIBRARY
028212	UNITED REFRIGERATION 92409414	0	2023 12	INV	A	41.42	C-FY2023	HVAC MATERIALS
028212	UNITED REFRIGERATION 92432235	0	2023 12	INV	A	46.20	C-FY2023	HVAV MATERIALS
028212	UNITED REFRIGERATION 92654045-00	0	2023 12	INV	A	51.36	C-FY2023	HVAC MATERIALS
						138.98		
			ACCOUNT TOTAL			1,739.47		
			ORG 160	TOTAL		1,908.10		
180			PLANNING / ENGINEERING DEPT					
180	610400		OFFICE SUPPLIES					
001102	SOUTHAVEN SUPPLY 198747	0	2023 12	INV	A	15.98	C-FY2023	SUPPLIES
006685	DEX IMAGING AR9980108	0	2023 12	INV	A	797.64	C-FY2023	CANON/ IRC255IF
			ACCOUNT TOTAL			813.62		
180	611300		MOTOR VEH REPAIRS/MAINT					
006917	THE SHOP 3353	0	2023 12	INV	A	547.50	C-FY2023	VEHICLE SEALS
			ACCOUNT TOTAL			547.50		
180	625700		TELEPHONE/POSTAGE					
030629	AMAZON CAPITAL 1LR3-W74J-JDPQ	0	2023 12	INV	A	35.90	C-FY2023	PHONE CASE CODE ENF
			ACCOUNT TOTAL			35.90		
180	626900		TRAVEL & TRAINING					
001339	CREDIT CARD CENTER 10-13-23	0	2023 12	INV	A	624.00	C-FY2023	TRAVEL CARD-#8906 9
			ACCOUNT TOTAL			624.00		
			ORG 180	TOTAL		2,021.02		
211			POLICE DEPARTMENT					
211	610100		CLEANING SUPPLIES					
007823	AMERICAN PAPER & TWI 4740122	0	2023 12	INV	A	266.48	C-FY2023	KITCHEN TOWELS (WES
007823	AMERICAN PAPER & TWI 4743844	0	2023 12	INV	A	407.38	C-FY2023	JANITORIAL SUPPLIES
007823	AMERICAN PAPER & TWI 4745124	0	2023 12	INV	A	218.05	C-FY2023	TOILET TISSUE (HQ P
						891.91		
			ACCOUNT TOTAL			891.91		
211	610400		OFFICE SUPPLIES					
007600	ODP BUSINESS 330293100001	0	2023 12	INV	A	72.02	C-FY2023	SUPPLIES
007600	ODP BUSINESS 331359957001	0	2023 12	INV	A	69.75	C-FY2023	DET CURTIS

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
007600 ODP BUSINESS	331651717001	0	2023 12	INV	A	187.09	C-FY2023	INK	
						328.86			
ACCOUNT TOTAL						328.86			
211 611300				MAINTENANCE	VEHICLES				
000312 BOB LADD & ASSOCIATE 1-319824		0	2023 12	INV	A	47.95	C-FY2023	GOLF CARTS	
000312 BOB LADD & ASSOCIATE 1-319845		0	2023 12	INV	A	557.56	C-FY2023	GOLF CART	
						605.51			
000543 COMSERV SERVICES 732005821		0	2023 12	INV	A	1,978.95	C-FY2023	3227 INSTALL	
000543 COMSERV SERVICES 732006227		0	2023 12	INV	A	239.00	C-FY2023	KNOB	
						2,217.95			
000883 AMERICAN TIRE REPAIR 167786		0	2023 12	INV	A	386.46	C-FY2023	2 TIRES	
001102 SOUTHAVEN SUPPLY 198013		0	2023 12	INV	A	26.98	C-FY2023	SHOP PARTS	
001102 SOUTHAVEN SUPPLY 198608		0	2023 12	INV	A	16.86	C-FY2023	TRAILER PARTS	
001102 SOUTHAVEN SUPPLY 199419		0	2023 12	INV	A	24.99	C-FY2023	LOCK	
						68.83			
001114 UNION AUTO PARTS 2669342		0	2023 12	INV	A	217.46	C-FY2023	3095 CYLINDER	
001114 UNION AUTO PARTS 2675339		0	2023 12	INV	A	593.94	C-FY2023	SHOP PARTS	
001114 UNION AUTO PARTS 2675621		0	2023 12	INV	A	7.20	C-FY2023	SCREW	
001114 UNION AUTO PARTS 2675918		0	2023 12	INV	A	95.80	C-FY2023	3195 INJECTOR	
001114 UNION AUTO PARTS 2676523		0	2023 12	INV	A	597.40	C-FY2023	3072 HUB	
001114 UNION AUTO PARTS 2676875		0	2023 12	CRM	A	-7.20	C-FY2023	SCREW	
001114 UNION AUTO PARTS 2676888		0	2023 12	INV	A	403.38	C-FY2023	SHOP PARTS	
001114 UNION AUTO PARTS 2677720		0	2023 12	INV	A	629.85	C-FY2023	3057 BRAKES	
001114 UNION AUTO PARTS 2680867		0	2023 12	INV	A	54.03	C-FY2023	3212 GASKET	
001114 UNION AUTO PARTS 2681975		0	2023 12	INV	A	3.64	C-FY2023	4185 PARTS	
001114 UNION AUTO PARTS 2682156		0	2023 12	INV	A	113.20	C-FY2023	3214 AXEL	
001114 UNION AUTO PARTS 2683858		0	2023 12	INV	A	469.21	C-FY2023	3130 COIL	
001114 UNION AUTO PARTS 2685228		0	2023 12	INV	A	92.14	C-FY2023	SATURN BRAKES	
001114 UNION AUTO PARTS 2685965		0	2023 12	INV	A	146.00	C-FY2023	3192 PARTS	
001114 UNION AUTO PARTS 2686619		0	2023 12	INV	A	129.99	C-FY2023	GOLF CART	
						3,546.04			
001150 NAPA GENUINE PARTS C 865452		0	2023 12	INV	A	40.64	C-FY2023	SHOP PARTS	
001150 NAPA GENUINE PARTS C 865453		0	2023 12	INV	A	23.22	C-FY2023	3135 LIGHT	
001150 NAPA GENUINE PARTS C 865455		0	2023 12	INV	A	16.76	C-FY2023	3135 LAMP	
						80.62			
001962 IDEAL TIRE SALES 546835		0	2023 12	INV	A	199.90	C-FY2023	3265 TIRES	
006706 LANDERS DODGE 2685965		0	2023 12	INV	A	76.56	C-FY2023	3176 NOZZEL	

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12											
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION			
006706 LANDERS DODGE	410795	0	2023 12	INV	A	66.23	C-FY2023	3177 HOSE			
						142.79					
007304 O'REILLYS AUTO PARTS	1257-253343	0	2023 12	INV	A	7.22	C-FY2023	3135 PARTS			
007304 O'REILLYS AUTO PARTS	1257-253625	0	2023 12	INV	A	48.44	C-FY2023	3171 ROD			
007304 O'REILLYS AUTO PARTS	1257-253734	0	2023 12	INV	A	11.09	C-FY2023	3265 WIPER BLADE			
007304 O'REILLYS AUTO PARTS	1257-253763	0	2023 12	INV	A	329.99	C-FY2023	TRAFFIC			
007304 O'REILLYS AUTO PARTS	1257-253765	0	2023 12	INV	A	89.32	C-FY2023	3265 PADS			
007304 O'REILLYS AUTO PARTS	1257-254036	0	2023 12	INV	A	31.97	C-FY2023	GOLF CART			
007304 O'REILLYS AUTO PARTS	6399-171396	0	2023 12	INV	A	51.76	C-FY2023	3095 BRACKET			
007304 O'REILLYS AUTO PARTS	6399-171402	0	2023 12	INV	A	76.76	C-FY2023	3095 BRACKET			
007304 O'REILLYS AUTO PARTS	6399-171571	0	2023 12	CRM	A	-15.55	C-FY2023	CREDIT 3135 RETURN			
007304 O'REILLYS AUTO PARTS	6399-172393	0	2023 12	INV	A	436.61	C-FY2023	3135 COIL			
007304 O'REILLYS AUTO PARTS	6399-172395	0	2023 12	INV	A	55.97	C-FY2023	3135 SWITCH			
007304 O'REILLYS AUTO PARTS	6399-172688	0	2023 12	INV	A	250.90	C-FY2023	OIL FILTERS			
007304 O'REILLYS AUTO PARTS	6399-172725	0	2023 12	INV	A	36.97	C-FY2023	SATURN PARTS			
007304 O'REILLYS AUTO PARTS	6399-172761	0	2023 12	CRM	A	-9.99	C-FY2023	CREDIT RETURN			
007304 O'REILLYS AUTO PARTS	6399-172853	0	2023 12	INV	A	16.37	C-FY2023	GOLF CART			
007304 O'REILLYS AUTO PARTS	6399-173195	0	2023 12	INV	A	128.78	C-FY2023	3135 SHOCK			
						1,546.61					
011610 SOUTHERN THUNDER	225487	0	2023 12	INV	A	141.33	C-FY2023	3217 FRONT TIRE			
013650 BATTERIES PLUS	P65877557	0	2023 12	INV	A	32.48	C-FY2023	TRAFFIC BATTERIES			
019700 CHOICE TOWING	78541	0	2023 12	INV	A	50.00	C-FY2023	3089 TOW			
019700 CHOICE TOWING	79094	0	2023 12	INV	A	85.00	C-FY2023	3246 TOW			
019700 CHOICE TOWING	79834	0	2023 12	INV	A	50.00	C-FY2023	3230 TOW			
019700 CHOICE TOWING	80189	0	2023 12	INV	A	50.00	C-FY2023	2020 F-150			
019700 CHOICE TOWING	80190	0	2023 12	INV	A	50.00	C-FY2023	2007 CAMRY			
019700 CHOICE TOWING	802080	0	2023 12	INV	A	50.00	C-FY2023				
019700 CHOICE TOWING	80281	0	2023 12	INV	A	50.00	C-FY2023	3189 TOW			
						385.00					
034982 ROSS MOTOR COMPANY I	108533	0	2023 12	INV	A	239.70	C-FY2023	SHOP PARTS			
ACCOUNT TOTAL						9,593.22					
211 612200			MAINTENANCE EQUIPMENT & BUILD								
031070 FRANCE PAINT CO	42	0	2023 12	INV	A	4,750.00	C-FY2023	RANGE TRAILERS			
ACCOUNT TOTAL						4,750.00					
211 612500			UNIFORMS								
020832 EMERGENCY EQUIPMENT	486733	0	2023 12	INV	A	24.00	C-FY2023	ELLINGTON SGT. STRI			
020832 EMERGENCY EQUIPMENT	486916	0	2023 12	INV	A	1,200.50	C-FY2023	FAUSTO NEW HIRE			
						1,224.50					

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
					ACCOUNT TOTAL	1,224.50		
211	622100			PROFESSIONAL SERVICES				
000611	SIGNS & STUFF	104399	0	2023 12	INV A	70.00	C-FY2023	4 TRAFFIC SIGNS
000611	SIGNS & STUFF	104403	0	2023 12	INV A	100.00	C-FY2023	2 SIGNS
						170.00		
001390	DPS CRIME LAB	90135730	0	2023 12	INV A	1,500.00	C-FY2023	ANALYTICAL FEES
002653	MS ASSOCIATION OF CH	2023-1	0	2023 12	INV A	50.00	C-FY2023	RIGGS 2023 DUES
002653	MS ASSOCIATION OF CH	91223-2	0	2023 12	INV A	50.00	C-FY2023	MOORE 2023 DUES
002653	MS ASSOCIATION OF CH	91223-4	0	2023 12	INV A	50.00	C-FY2023	KERN 2023 DUES
						150.00		
006685	DEX IMAGING	AR9988652	0	2023 12	INV A	13.84	C-FY2023	LT HALL
006685	DEX IMAGING	AR9996451	0	2023 12	INV A	25.69	C-FY2023	SANDERS
						39.53		
028872	PRECIOUS PAWS ANIMAL	15172	0	2023 12	INV A	370.82	C-FY2023	K9 BOB
029120	YOUNG LEASING CO	INV6526010	0	2023 12	INV A	190.18	C-FY2023	WEST
030064	ELSOHLY LABORATORIES	48597	0	2023 12	INV A	3,500.00	C-FY2023	14 SAMPLES
030064	ELSOHLY LABORATORIES	48600	0	2023 12	INV A	2,500.00	C-FY2023	10 SAMPLES
						6,000.00		
034860	FORENSIC POLYGRAPH S	2023-169	0	2023 12	INV A	400.00	C-FY2023	2 POLYS
034860	FORENSIC POLYGRAPH S	2023-170	0	2023 12	INV A	200.00	C-FY2023	1 POLY
						600.00		
					ACCOUNT TOTAL	9,020.53		
211	625700			TELEPHONE & POSTAGE				
000971	PITNEY BOWES GLOBAL	91323	0	2023 12	INV A	158.55	C-FY2023	ACCT 80009000074640
					ACCOUNT TOTAL	158.55		
211	626900			TRAVEL & TRAINING				
001339	CREDIT CARD CENTER	10-13-23	0	2023 12	INV A	1,472.00	C-FY2023	TRAVEL CARD-#8906 9
					ACCOUNT TOTAL	1,472.00		
211	630400			MACHINERY & EQUIPMENT				
000927	RAY ALLEN MFG CO INC	RINV334049	23000359	2023 12	INV A	657.55	C-FY2023	K9 SUPPLIES FOR THE
001102	SOUTHAVEN SUPPLY	199434	0	2023 12	INV A	5.98	C-FY2023	ISU KEYS

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
001373 GLOCK INC	SI-0833349	0	2023 12	INV	A	42.80	C-FY2023	GUN PARTS
005662 HOWARD INDUSTRIES	23-00592584	23000330	2023 12	INV	A	1,150.00	C-FY2023	5 KEYBOARDS FOR SPD
030629 AMAZON CAPITAL	1KRJJNFP6CGG	0	2023 12	INV	A	237.83	C-FY2023	CABLES -PRINTERS
030629 AMAZON CAPITAL	1XHK3FYNN169	0	2023 12	INV	A	114.50	C-FY2023	K9 SUPPLIES
						352.33		
						ACCOUNT TOTAL		2,208.66
			ORG 211		TOTAL			29,648.23
215								EMERGENCY SERVICES
215	610400							OFFICE SUPPLIES
007600 ODP BUSINESS	328569264001	0	2023 12	INV	A	101.13	C-FY2023	PRINTER INK
007600 ODP BUSINESS	332837531001	0	2023 12	INV	A	67.14	C-FY2023	PRINTER INK
						168.27		
007823 AMERICAN PAPER & TWI	4748874	0	2023 12	INV	A	43.61	C-FY2023	TOILET PAPER E-911
029120 YOUNG LEASING CO	INV6529076	0	2023 12	INV	A	116.13	C-FY2023	AAA39445- PRINTER S
						ACCOUNT TOTAL		328.01
215	626900							TRAVEL & TRAINING
001339 CREDIT CARD CENTER	10-13-23	0	2023 12	INV	A	105.55	C-FY2023	TRAVEL CARD-#8906 9
020015 NENA	200031433	0	2023 12	INV	A	1,160.00	C-FY2023	X4 ATTENDEES MORROW
020015 NENA	200031442	0	2023 12	INV	A	1,075.00	C-FY2023	FEE FOR TACTICAL DI
						2,235.00		
						ACCOUNT TOTAL		2,340.55
			ORG 215		TOTAL			2,668.56
290								FIRE DEPARTMENT
290	610701							MEDICAL SUPPLIES
000582 BOUND TREE MEDICAL	85096289	0	2023 12	INV	A	184.66	C-FY2023	MEDICAL SUPPLIES
						ACCOUNT TOTAL		184.66
290	611000							MATERIALS
000701 SUNBELT FIRE INC	5270	0	2023 12	INV	A	64.52	C-FY2023	LETTER PATCH
005044 LOWE'S HOME CENTERS,	72523-82223	0	2023 12	INV	A	23.66	C-FY2023	MATERIALS- LOWES
013650 BATTERIES PLUS	P65918799	0	2023 12	CRM	A	-67.70	C-FY2023	CREDIT- RETURN)2 12
015230 MY-LOR. INC.	5810	0	2023 12	INV	A	40.45	C-FY2023	3 ID TAGS

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12		ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
					ACCOUNT TOTAL	60.93		
290	611300				MAINTENANCE VEHICLES			
	000189	HOMER SKELTON FORD	6168774	0	2023 12 INV A	310.26	C-FY2023	OIL/FILTER CHANGE/F
	000650	G & W DIESEL SERVICE	324-0000001451	0	2023 12 INV A	3,074.85	C-FY2023	REPAIRS TO TRK 2 FL
	000883	AMERICAN TIRE REPAIR	167832	0	2023 12 INV A	50.00	C-FY2023	FLAT REPAIR ENG 5 F
	000883	AMERICAN TIRE REPAIR	167844	0	2023 12 INV A	569.74	C-FY2023	NEW TIRE MOUNT & ST
						619.74		
	000993	ADVANCE AUTO PARTS	1897-581350	0	2023 12 INV A	68.40	C-FY2023	3) DIESEL EXHAUST F
	007304	O'REILLYS AUTO PARTS	1257-254137	0	2023 12 INV A	38.97	C-FY2023	3) 2.5 GAL DEF
	007304	O'REILLYS AUTO PARTS	1791-230911	0	2023 12 INV A	38.97	C-FY2023	3) 2.5 GALLOM O'REI
	007304	O'REILLYS AUTO PARTS	1791-232012	0	2023 12 INV A	74.95	C-FY2023	5 GAL ANTIFREZ
	007304	O'REILLYS AUTO PARTS	1791-232023	0	2023 12 INV A	1.38	C-FY2023	HOSE CAMPTRK#3 FLT#
						154.27		
	020832	EMERGENCY EQUIPMENT	486307	0	2023 12 INV A	3,335.85	C-FY2023	PUMP REPAIR ENG 5 F
	020832	EMERGENCY EQUIPMENT	486316	0	2023 12 INV A	3,335.85	C-FY2023	PUMP REPAIR ENG 5 F
	020832	EMERGENCY EQUIPMENT	C13222	0	2023 12 CRM A	-3,335.85	C-FY2023	CREDIT TOWARDS INV4
						3,335.85		
					ACCOUNT TOTAL	7,563.37		
290	622100				PROFESSIONAL SERVICES			
	038420	MISSISSIPPI AMBULANC	120	0	2023 12 INV A	3,751.60	C-FY2023	REIMBURSEMENT FOR T
	038420	MISSISSIPPI AMBULANC	142	0	2023 12 INV A	4,358.38	C-FY2023	REIMBURSEMENT FOR T
						8,109.98		
					ACCOUNT TOTAL	8,109.98		
290	625700				TELEPHONE & POSTAGE			
	030629	AMAZON CAPITAL	13W3-4KDK-R36L	0	2023 12 INV A	41.94	C-FY2023	PHONE CASE UNIT 3
					ACCOUNT TOTAL	41.94		
290	626500				PRINTING			
	029120	YOUNG LEASING CO	INV6524015	0	2023 12 INV A	244.70	C-FY2023	ADMIN COPIER FEES F
					ACCOUNT TOTAL	244.70		
290	626900				TRAVEL & TRAINING			
	001147	NEXAIR LLC	11284243	0	2023 12 INV A	148.83	C-FY2023	RENTAL FEES FOR CYL
	005044	LOWE'S HOME CENTERS,	72523-82223	0	2023 12 INV A	29.83	C-FY2023	MATERIALS- LOWES

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
020055 FORESMAN EVAN	9-18-23	0	2023 12	INV A	145.00	C-FY2023	ROPE RESCUE TECHNIC	
				ACCOUNT TOTAL	323.66			
290 000529 630400 NAFECO	1230719	0	2023 12	INV A	186.05	C-FY2023	LED RECHARGEABLE NI	
020832 EMERGENCY EQUIPMENT	486748	0	2023 12	INV A	196.50	C-FY2023	2)HDRANT WRENCH 1)3	
				ACCOUNT TOTAL	382.55			
290 000611 630600 SIGNS & STUFF	104412	0	2023 12	INV A	675.00	C-FY2023	REFLECTIVE STRIPES	
				ACCOUNT TOTAL	675.00			
			ORG 290	TOTAL	17,586.79			
297 016050 HENRY SCHEIN INC	54430801	0	2023 12	INV A	1,168.99	C-FY2023	MEDICAL SUPPLIES	
297 016050 HENRY SCHEIN INC	55640189	0	2023 12	INV A	922.15	C-FY2023	MEDICAL SUPPLIES	
					2,091.14			
021392 MERCURY MEDICAL	INV192951	0	2023 12	INV A	327.16	C-FY2023	MEDICAL SUPPLIES	
021908 STRYKER	9204530857	0	2023 12	INV A	185.64	C-FY2023	MEDICAL SUPPLIES	
				ACCOUNT TOTAL	2,603.94			
297 000189 611300 HOMER SKELTON FORD	6168208	0	2023 12	INV A	596.74	C-FY2023	REPAIRS TO UNIT 1 F	
				ACCOUNT TOTAL	596.74			
297 019311 620901 CREDIT BUREAU SYSTEM	307400000403	0	2023 12	INV A	187.67	C-FY2023	EMS COLLECTIONS FEE	
				ACCOUNT TOTAL	187.67			
297 016415 622100 STATE TREASURER OF M	9-14-23	0	2023 12	INV A	89.87	C-FY2023	UNCLAIMED PROPERTY	
				ACCOUNT TOTAL	89.87			
297 036825 626900 BECERRA ERIC	82523	0	2023 12	INV A	80.00	C-FY2023	8 YEAR EMS-D LICENS	
				ACCOUNT TOTAL	80.00			

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12		ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
				ORG 297	TOTAL			3,558.22		
311										
311	610400									
	007823	AMERICAN PAPER & TWI	4733274	0	2023	12	INV A	113.60	C-FY2023	COPIER PAPER OFFICE
								ACCOUNT TOTAL		113.60
311	611000									
	000541	TRI COUNTY FARM SERV	2-093225	0	2023	12	INV A	2,796.80	C-FY2023	MAT.
	000759	LEHMAN ROBERTS CO	94635	0	2023	12	INV A	375.75	C-FY2023	MAT.
	000759	LEHMAN ROBERTS CO	94683	0	2023	12	INV A	570.00	C-FY2023	MAT.
	000759	LEHMAN ROBERTS CO	94712	0	2023	12	INV A	308.25	C-FY2023	MAT.
								1,254.00		
	005044	LOWE'S HOME CENTERS,	72523-82223	0	2023	12	INV A	78.56	C-FY2023	MATERIALS- LOWES
	035031	COLD MIX INC	18757	0	2023	12	INV A	3,683.68	C-FY2023	MAT.
								ACCOUNT TOTAL		7,813.04
311	611300									
	000624	TRI-STATE AUTO PAINT	506500	0	2023	12	INV A	460.00	C-FY2023	SHOP MAT.
	000687	SOUTHERN PIPE & SUPP	196684	0	2023	12	INV A	999.80	C-FY2023	MAT FOR SHOP
	000993	ADVANCE AUTO PARTS	6667325636974	0	2023	12	INV A	273.60	C-FY2023	MAT FOR SHOP
	006479	AIRGAS USA INC	5502145881	0	2023	12	INV A	271.16	C-FY2023	MAT FOR SHOP
	007304	O'REILLYS AUTO PARTS	6399-171421	0	2023	12	INV A	128.74	C-FY2023	MAT FOR SHOP
	008561	S & H SMALL ENGINES	84517	0	2023	12	INV A	327.38	C-FY2023	MAT FOR SHOP
	010865	RELIABLE EQUIPMENT	CT119979	0	2023	12	INV A	274.41	C-FY2023	MAT FOR SHOP
	029563	LANDERS FORD SOUTH	234762	0	2023	12	INV A	638.06	C-FY2023	MAT FOR SHOP
	030969	ACE MACHINE MEMPHIS	9227	0	2023	12	INV A	349.48	C-FY2023	MAT FOR SHOP
								ACCOUNT TOTAL		3,722.63
311	612200									
	014714	INTEGRATED WIRELES	24215	0	2023	12	INV A	556.40	C-FY2023	MATERIALS/EQUIP
								ACCOUNT TOTAL		556.40
311	612500									
	013377	CINTAS	4167659199	0	2023	12	INV A	410.52	C-FY2023	UNIFORMS

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12											
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION			
ACCOUNT TOTAL						410.52					
ORG 311 TOTAL						12,616.19					
411			PARKS DEPARTMENT								
411	610400	OFFICE SUPPLIES									
006685	DEX IMAGING	AR9988651	0	2023 12	INV A	21.93	C-FY2023	COPY CONTRACT PINE			
007600	ODP BUSINESS	328617147001	0	2023 12	INV A	9.99	C-FY2023	INVENTORY			
007600	ODP BUSINESS	328620307001	0	2023 12	INV A	13.99	C-FY2023	EXPANDING FOLDER			
						23.98					
029120	YOUNG LEASING CO	INV6533061	0	2023 12	INV A	9.15	C-FY2023	COPY CONTRACT STOWE			
029120	YOUNG LEASING CO	INV6535589	0	2023 12	INV A	9.53	C-FY2023	COPY CONTRACT TOURN			
029120	YOUNG LEASING CO	INV6543390	0	2023 12	INV A	19.63	C-FY2023	COPY CONTRACT - PIN			
						38.31					
ACCOUNT TOTAL						84.22					
411	611300	MAINTENANCE VEHICLES									
026638	BRYANT TIRE	92573	0	2023 12	INV A	1,764.00	C-FY2023	TIRES			
026638	BRYANT TIRE	94944	0	2023 12	INV A	1,483.95	C-FY2023	TIRES			
						3,247.95					
ACCOUNT TOTAL						3,247.95					
411	612200	MAINTENANCE EQUIPMENT & BUILD									
000308	MAINTENANCE SUPPLY	240962	0	2023 12	INV A	84.04	C-FY2023	HARDWARE			
000687	SOUTHERN PIPE & SUPP	8178822-00	0	2023 12	INV A	1.69	C-FY2023	PVC ATTACHMENT			
001102	SOUTHAVEN SUPPLY	195363	0	2023 12	INV A	11.98	C-FY2023	BATTERIES			
001104	SHERWIN WILLIAMS SOU	4667-3	0	2023 12	INV A	33.03	C-FY2023	PAINT			
001135	SAFETY-KLEEN SYSTEMS	92631294	0	2023 12	INV A	166.68	C-FY2023	WASHER PARTS			
001150	NAPA GENUINE PARTS C	417366	0	2023 12	INV A	2.97	C-FY2023	COUPLING			
001150	NAPA GENUINE PARTS C	417481	0	2023 12	INV A	23.78	C-FY2023	CIRCUIT PROTECTOR			
001150	NAPA GENUINE PARTS C	417505	0	2023 12	INV A	59.59	C-FY2023	LED LIGHT			
001150	NAPA GENUINE PARTS C	417506	0	2023 12	INV A	10.11	C-FY2023	LIQUID TAPE			
001150	NAPA GENUINE PARTS C	417742	0	2023 12	INV A	39.35	C-FY2023	BELT, AIR FILTER &			
001150	NAPA GENUINE PARTS C	418072	0	2023 12	INV A	85.42	C-FY2023	HYD. OIL & BLADE CO			
001150	NAPA GENUINE PARTS C	695-417500	0	2023 12	INV A	14.30	C-FY2023	AIR CHUCK			
001150	NAPA GENUINE PARTS C	695-417750	0	2023 12	INV A	18.86	C-FY2023	BELT AIR COMPRESSIO			
						254.38					
002768	KEELING IRRIGATION	S4399702.001	0	2023 12	INV A	38.60	C-FY2023	PVC ADAPTER			

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
002768 KEELING IRRIGATION	S4400542.001	0	2023 12	INV	A	272.44	C-FY2023	PVC	
						311.04			
002951 STATELINE TURF & TRA	351214	0	2023 12	INV	A	511.01	C-FY2023	RIM, FUEL PUMP	
002951 STATELINE TURF & TRA	351740	0	2023 12	INV	A	57.71	C-FY2023	OIL FILTERS	
						568.72			
005044 LOWE'S HOME CENTERS,	72523-82223	0	2023 12	INV	A	568.36	C-FY2023	MATERIALS- LOWES	
013377 CINTAS	4167545562	0	2023 12	INV	A	155.20	C-FY2023	MATS	
013377 CINTAS	4167546021	0	2023 12	INV	A	109.64	C-FY2023	TOWELS, MAT, AIR FR	
013377 CINTAS	4167657839	0	2023 12	INV	A	90.70	C-FY2023	MATS	
013377 CINTAS	4168193451	0	2023 12	INV	A	172.98	C-FY2023	MAT AND TOWEL	
013377 CINTAS	4168194204	0	2023 12	INV	A	109.64	C-FY2023	TOWEL, MAT AIR FRESH	
013377 CINTAS	4168375581	0	2023 12	INV	A	90.70	C-FY2023	MATS	
						728.86			
			ACCOUNT TOTAL			2,728.78			
411 612201			PARK MAINTENANCE						
001056 BWI MEMPHIS	17947769	0	2023 12	INV	A	1,903.80	C-FY2023	HERBICIDE	
001056 BWI MEMPHIS	18040684	0	2023 12	INV	A	415.90	C-FY2023	ANT BAIT	
						2,319.70			
001320 MARTIN MACHINE WORKS	1675	0	2023 12	INV	A	5,125.00	C-FY2023	FIELD 12 SIGN	
002948 SUNBELT RENTALS	143777046001	0	2023 12	INV	A	150.00	C-FY2023	FAN RENTAL	
002948 SUNBELT RENTALS	1437771820001	0	2023 12	INV	A	993.37	C-FY2023		
						1,143.37			
005044 LOWE'S HOME CENTERS,	72523-82223	0	2023 12	INV	A	52.24	C-FY2023	MATERIALS- LOWES	
007823 AMERICAN PAPER & TWI	4740028	0	2023 12	INV	A	1,110.44	C-FY2023	JANITORAL	
007823 AMERICAN PAPER & TWI	4742577	0	2023 12	INV	A	120.05	C-FY2023	BAR SOAP	
007823 AMERICAN PAPER & TWI	4743837	0	2023 12	INV	A	462.98	C-FY2023	NAITORIAL	
007823 AMERICAN PAPER & TWI	4743838	0	2023 12	INV	A	369.92	C-FY2023	JANITORAL	
						2,063.39			
019700 CHOICE TOWING	80246	0	2023 12	INV	A	50.00	C-FY2023	TOWED TRAILBLAZER F	
026449 KELLY SEPTIC SER	27258	0	2023 12	INV	A	190.00	C-FY2023	PORTA POTTY SERV	
026449 KELLY SEPTIC SER	27430	0	2023 12	INV	A	180.00	C-FY2023	PORTA POTTY SERVICE	
						370.00			
029521 SIMPLOT	227028738	23000354	2023 12	INV	A	17,000.00	C-FY2023	RYE GRASS SEED - SO	

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
034148 STANDARD CONSTRUCTIO	61423INV	0	2023 12	INV A	630.00	C-FY2023	MORTAR SAND	
ACCOUNT TOTAL					28,753.70			
411 612300			MUNICIPAL GOLF COURSE EXPENSE					
006738 CALLAWAY GOLF	937103058	0	2023 12	INV A	713.64	C-FY2023	GOLF GLOVES	
006738 CALLAWAY GOLF	937103081	0	2023 12	INV A	118.08	C-FY2023	GOLF BALLS	
					831.72			
ACCOUNT TOTAL					831.72			
411 613100			BALL EQUIPMENT					
013885 DESOTO COUNTY SOCCER TOPSOCCERFALL		0	2023 12	INV A	709.98	C-FY2023	TOP SOCCER UNIFORMS	
021472 ATHLETIC HOUSE @ SNO	942206	0	2023 12	INV A	71.20	C-FY2023	MOUTH PIECES-FOOTBA	
026597 ACTIVE SPORTS	127927	0	2023 12	INV A	256.72	C-FY2023	CART	
ACCOUNT TOTAL					1,037.90			
411 613400			COMMUNITY EVENTS					
002140 KIDZ KOUNTRY PETTING	10142023	0	2023 12	INV A	1,750.00	C-FY2023	PETTING ZOO	
026449 KELLY SEPTIC SER	27277	0	2023 12	INV A	1,995.00	C-FY2023	PORTA POTTIES FALL	
030629 AMAZON CAPITAL	1VD4XVYN1DDF	0	2023 12	INV A	641.36	C-FY2023	VETERANS LUCHEON	
036366 BLUES CITY BOUNCE	19274825	0	2023 12	INV A	600.00	C-FY2023	BOUNCE HOUSE FOR FA	
038430 SARAH LITNEY ART	61	0	2023 12	INV A	572.00	C-FY2023	FACE PAINTING FALL	
038431 WALLACE PRESTON	9-18-23	0	2023 12	INV A	250.00	C-FY2023	FALL FEST	
ACCOUNT TOTAL					5,808.36			
411 621900			ASSOCIATIONAL DUES					
003923 MS SOCCER ASSO	225180-0923	0	2023 12	INV A	4,466.00	C-FY2023	SOCCER REGISTRATION	
003923 MS SOCCER ASSO	225180-352	0	2023 12	INV A	6,336.00	C-FY2023	SOCCER REGISTRATION	
					10,802.00			
013885 DESOTO COUNTY SOCCER	2023-FALL	0	2023 12	INV A	915.00	C-FY2023	FALL SOCCER ADMIN	
ACCOUNT TOTAL					11,717.00			
411 622100			PROFESSIONAL SERVICES					
005044 LOWE'S HOME CENTERS,	72523-82223	0	2023 12	INV A	1,992.15	C-FY2023	MATERIALS- LOWES	
016415 STATE TREASURER OF M	9-14-23	0	2023 12	INV A	5,854.86	C-FY2023	UNCLAIMED PROPERTY	

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
025152 PARASOL AWNINGS LLC	1728	23000325	2023 12	INV	A	13,271.00	C-FY2023	COVERING FOR SOUND	
ACCOUNT TOTAL						21,118.01			
411 627901				UMPIRES					
001043 BOSLEY JEFF	9-25-23	0	2023 12	INV	A	113.75	C-FY2023	FALL SOFTBALL 2023	
001051 MALONE TERRY	9-25-23	0	2023 12	INV	A	165.00	C-FY2023	FALL SOFTBALL 2023	
001051 MALONE TERRY	9-26-23	0	2023 12	INV	A	100.00	C-FY2023	REC BASEBALL 2023	
						265.00			
002857 TURNER DALE	9-25-23	0	2023 12	INV	A	180.00	C-FY2023	FALL SOFTBALL 2023	
008692 WELCH HENRY JOEY	9-25-23	0	2023 12	INV	A	80.00	C-FY2023	FALL SOFTBALL 2023	
011508 DOCKERY LAWRENCE	9-26-23	0	2023 12	INV	A	330.00	C-FY2023	SPRING 2023 SOCCER	
015545 KLINCK ZACHARY A	9-26-23	0	2023 12	INV	A	765.00	C-FY2023	SPRING 2023 SOCCER	
016709 DAVIS DANIEL	9-25-23	0	2023 12	INV	A	80.00	C-FY2023	FALL SOFTBALL 2023	
018757 CLAYTON DONNIE	9-25-23	0	2023 12	INV	A	130.00	C-FY2023	FALL SOFTBALL 2023	
018757 CLAYTON DONNIE	9-26-23	0	2023 12	INV	A	130.00	C-FY2023	REC BASEBALL 2023	
						260.00			
021367 BREWER MICHAEL	9-25-23	0	2023 12	INV	A	150.00	C-FY2023	FALL SOFTBALL 2023	
023087 WATSON LAWRENCE	9-25-23	0	2023 12	INV	A	48.75	C-FY2023	FALL SOFTBALL 2023	
023087 WATSON LAWRENCE	9-26-23	0	2023 12	INV	A	130.00	C-FY2023	REC BASEBALL 2023	
						178.75			
023182 CASHION JOHN H	9-25-23	0	2023 12	INV	A	48.75	C-FY2023	FALL SOFTBALL 2023	
023182 CASHION JOHN H	9-26-23	0	2023 12	INV	A	130.00	C-FY2023	REC BASEBALL 2023	
						178.75			
025315 GOODING BLAKE	9-25-23	0	2023 12	INV	A	180.00	C-FY2023	FALL SOFTBALL 2023	
025560 THOMAS IAN T	9-26-23	0	2023 12	INV	A	120.00	C-FY2023	SPRING 2023 SOCCER	
028218 COX III DAVID ROYAL	9-26-23	0	2023 12	INV	A	185.00	C-FY2023	SPRING 2023 SOCCER	
029803 SOLOMON ADDILYN	9-26-23	0	2023 12	INV	A	335.00	C-FY2023	SPRING 2023 SOCCER	
035271 GRAHAM STEPHEN	9-26-23	0	2023 12	INV	A	195.00	C-FY2023	SPRING 2023 SOCCER	
035405 DELGADILLO ISABELLA	9-26-23	0	2023 12	INV	A	215.00	C-FY2023	SPRING 2023 SOCCER	
036078 BEAL BLAKE AUSTIN	9-26-23	0	2023 12	INV	A	325.00	C-FY2023	SOFTBALL- OPEN INDO	

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
036318 MAXEMCHUK ANGELO	9-26-23	0	2023 12	INV	A	100.00	C-FY2023	SPRING 2023 SOCCER
036350 SIMPSON SPENSER	9-26-23	0	2023 12	INV	A	315.00	C-FY2023	SPRING 2023 SOCCER
036353 MANJARREZ DESIREE	9-26-23	0	2023 12	INV	A	30.00	C-FY2023	SPRING 2023 SOCCER
037179 TOW ZACHARY	9-26-23	0	2023 12	INV	A	130.00	C-FY2023	SPRING 2023 SOCCER
037197 GRAHAM CANAAN	9-26-23	0	2023 12	INV	A	140.00	C-FY2023	SPRING 2023 SOCCER
037222 HASSELL TITUS	9-26-23	0	2023 12	INV	A	155.00	C-FY2023	SPRING 2023 SOCCER
037301 POLLARD LASEDRICK	9-25-23	0	2023 12	INV	A	165.00	C-FY2023	FALL SOFTBALL 2023
037396 LEE JOSEPH ANGLIN	9-25-23	0	2023 12	INV	A	138.75	C-FY2023	FALL SOFTBALL 2023
038265 CARTER ANDREW	9-26-23	0	2023 12	INV	A	215.00	C-FY2023	SPRING 2023 SOCCER
038315 TELLO-DELGADILLO MIR	9-26-23	0	2023 12	INV	A	195.00	C-FY2023	SPRING 2023 SOCCER
038390 MCCARTER KAELEA	9-26-23	0	2023 12	INV	A	45.00	C-FY2023	SPRING 2023 SOCCER
038391 HODGSON REID M	9-26-23	0	2023 12	INV	A	80.00	C-FY2023	SPRING 2023 SOCCER
038395 FRANK LIAM ROSS	9-26-23	0	2023 12	INV	A	185.00	C-FY2023	SPRING 2023 SOCCER
038401 FRANK LEO JAMES	9-26-23	0	2023 12	INV	A	140.00	C-FY2023	SPRING 2023 SOCCER
038415 DENFIP ALEXANDRA N	9-26-23	0	2023 12	INV	A	110.00	C-FY2023	SPRING 2023 SOCCER
038416 GREEN III TERRY Q	9-26-23	0	2023 12	INV	A	105.00	C-FY2023	SPRING 2023 SOCCER
038417 REINHARDT SARAH E	9-26-23	0	2023 12	INV	A	75.00	C-FY2023	SPRING 2023 SOCCER
038440 ROSS MADILYN	9-26-23	0	2023 12	INV	A	60.00	C-FY2023	SPRING 2023 SOCCER
038441 ANGUIANO JULIAN	9-26-23	0	2023 12	INV	A	120.00	C-FY2023	SPRING 2023 SOCCER
038442 GREEN III VERNON	9-26-23	0	2023 12	INV	A	60.00	C-FY2023	SPRING 2023 SOCCER
038443 RUIZ JOSHUA CALEB	9-26-23	0	2023 12	INV	A	150.00	C-FY2023	SPRING 2023 SOCCER
ACCOUNT TOTAL						6,850.00		
ORG 411 TOTAL						82,177.64		
412 PARK TOURNAMENTS								
412 612400 RESELL / CONCESSION EXPENSE								
003538 SYSCO CORPORATION	414245884	0	2023 12	INV	A	826.25	C-FY2023	CONCESSION
003538 SYSCO CORPORATION	414254369	0	2023 12	INV	A	5,177.03	C-FY2023	CONCESSIONS
003538 SYSCO CORPORATION	414254531	0	2023 12	INV	A	1,609.75	C-FY2023	CONCESSION

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
								7,613.03
005044	LOWE'S HOME CENTERS, 72523-82223	0	2023 12	INV	A	28.49	C-FY2023	MATERIALS- LOWES
010700	STANDARD COFFEE SERV 22709827	0	2023 12	INV	A	58.43	C-FY2023	WATER GALLONS
022105	NCR CORPORATION 6503714119	0	2023 12	INV	A	778.49	C-FY2023	ALOHA SUPPORT
022806	PEPSI BEVERAGES COMP 23809654	0	2023 12	INV	A	4,469.25	C-FY2023	PEPSI RESALE
024982	SMITTY'S SLICES LLC 194	0	2023 12	INV	A	750.00	C-FY2023	91123-91623 PIZZA R
024982	SMITTY'S SLICES LLC 195	0	2023 12	INV	A	1,096.00	C-FY2023	PIZZA FOR RESALE
024982	SMITTY'S SLICES LLC 9923-91023	0	2023 12	INV	A	672.00	C-FY2023	PIZZA RESALE
								2,518.00
033037	HOSPITALITY CONTROL 52456	0	2023 12	INV	A	74.50	C-FY2023	ALOHA SUPPORT
036347	JOHNNY FREEZE CREAM 2542	0	2023 12	INV	A	857.50	C-FY2023	CREAM ICE CONCESSIO
036347	JOHNNY FREEZE CREAM 3275	0	2023 12	INV	A	365.00	C-FY2023	CREAM ICE CONCESSIO
								1,222.50
			ACCOUNT TOTAL			16,762.69		
412	622100		PROFESSIONAL FEES					
007622	MIDSOUTH SPORTS PROD 750	0	2023 12	INV	A	11,250.00	C-FY2023	BASEBALL CONTRACT O
024247	KALISAK ROSEMARY SEPT2023	0	2023 12	INV	A	4,375.00	C-FY2023	SOFTBALL CONTRACT S
			ACCOUNT TOTAL			15,625.00		
412	626102		PROMOTIONS					
001121	NEWTONS TROPHY 12047	0	2023 12	INV	A	600.00	C-FY2023	TROPHIES & MEDALS
001121	NEWTONS TROPHY 12165	0	2023 12	INV	A	600.00	C-FY2023	AWARDS
								1,200.00
007622	MIDSOUTH SPORTS PROD 752	0	2023 12	INV	A	9,575.00	C-FY2023	PG FALL NATIONAL FE
027776	SOUTHERN SPORTS SPEC 1071	0	2023 12	INV	A	1,608.00	C-FY2023	USSSA FEES FALL BRA
033643	MISSION AWARDS INC 20821	0	2023 12	INV	A	651.50	C-FY2023	SOCCER AWARDS
			ACCOUNT TOTAL			13,034.50		
			ORG 412	TOTAL		45,422.19		
511			MUNICIPAL CODE ENFORCEMENT					
511	610100		CLEANING SUPPLIES					
005044	LOWE'S HOME CENTERS, 72523-82223	0	2023 12	INV	A	32.26	C-FY2023	MATERIALS- LOWES

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
019588 CCP INDUSTRIES	IN03359114	0	2023 12	INV A	164.75	C-FY2023	CLEANING SUPPLIES	
ACCOUNT TOTAL					197.01			
511 610400				OFFICE SUPPLIES				
007600 ODP BUSINESS	328653288001	0	2023 12	INV A	79.99	C-FY2023	CARTRIDEGES	
029120 YOUNG LEASING CO	INV6522354	0	2023 12	INV A	124.97	C-FY2023	OFFICE SUPPLIES	
ACCOUNT TOTAL					204.96			
511 611000				MATERIALS				
000246 ANIMAL CARE EQUIPMEN	115648	0	2023 12	INV A	150.15	C-FY2023	MATERIALS	
ACCOUNT TOTAL					150.15			
511 614900				FEED FOR ANIMALS				
012713 HILL'S PET NUTRITION	246597005	0	2023 12	INV A	172.23	C-FY2023	FEED ANIMALS	
012713 HILL'S PET NUTRITION	246651751	0	2023 12	INV A	172.07	C-FY2023	FEED ANIMALS	
					344.30			
ACCOUNT TOTAL					344.30			
511 622100				PROFESSIONAL SERVICES				
000500 DESOTO COUNTY ANIMAL	240727	0	2023 12	INV A	1,211.00	C-FY2023	PROF. SERVICES	
017049 ANIMAL HEALTH INTERN	9013990434	0	2023 12	INV A	377.25	C-FY2023	PROF. SERVICES	
028872 PRECIOUS PAWS ANIMAL	15170	0	2023 12	INV A	454.68	C-FY2023	PROF. SERVICES	
ACCOUNT TOTAL					2,042.93			
ORG 511 TOTAL					2,939.35			
901				CITY FUEL				
901 614000				FUEL & OIL				
017201 BEST-WADE PETROLEUM	74147	23000351	2023 12	INV A	11,196.11	C-FY2023	FUEL ORDER	
017201 BEST-WADE PETROLEUM	74148	23000351	2023 12	INV A	12,603.85	C-FY2023	FUEL ORDER	
017201 BEST-WADE PETROLEUM	74149	23000351	2023 12	INV A	4,435.41	C-FY2023	FUEL ORDER	
017201 BEST-WADE PETROLEUM	74150	23000351	2023 12	INV A	10,509.70	C-FY2023	FUEL ORDER	
					38,745.07			
ACCOUNT TOTAL					38,745.07			
ORG 901 TOTAL					38,745.07			
902				GENERAL EXPENSES				
902 620902				FACILITIES MANAGEMENT				
000172 AUTOMATIC RAIN	18426	0	2023 12	INV A	480.50	C-FY2023	NORTHWEST DR. ISLAN	

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
000232 MATHESON & ASSOC LLC	23338	0	2023 12	INV	A	850.00	C-FY2023	PUBLIC WORKS SECURI	
001099 NORTH MS PEST CONTRO	132-01274188	0	2023 12	INV	A	306.00	C-FY2023	CITY HALL PEST CONT	
001222 CUMMINS MID-SOUTH LL	D2-92534	0	2023 12	INV	A	380.12	C-FY2023	CITY HALL - GEN P.M	
001222 CUMMINS MID-SOUTH LL	D2-92536	0	2023 12	INV	A	253.85	C-FY2023	ARENA GEN P.M.	
001222 CUMMINS MID-SOUTH LL	D2-92538	0	2023 12	INV	A	342.09	C-FY2023	COLLEGE RD. - GEN P	
001222 CUMMINS MID-SOUTH LL	D2-92539	0	2023 12	INV	A	256.10	C-FY2023	PUBLIC WORKS GEN P.	
001222 CUMMINS MID-SOUTH LL	D2-92541	0	2023 12	INV	A	247.12	C-FY2023	F.S. #1 GEN P.M.	
001222 CUMMINS MID-SOUTH LL	D2-92546	0	2023 12	INV	A	315.86	C-FY2023	F.S. #2 GEN P.M.	
001222 CUMMINS MID-SOUTH LL	D2-92547	0	2023 12	INV	A	266.62	C-FY2023	F.S.#3 GEN P.M. AGR	
001222 CUMMINS MID-SOUTH LL	D2-92548	0	2023 12	INV	A	271.11	C-FY2023	F.S. #4 GEN P.M.	
001222 CUMMINS MID-SOUTH LL	D2-92549	0	2023 12	INV	A	344.34	C-FY2023	GETWELL - GEN P.M.	
001222 CUMMINS MID-SOUTH LL	D2-92550	0	2023 12	INV	A	377.88	C-FY2023	GREENWOOD - GEN P.M	
001222 CUMMINS MID-SOUTH LL	D2-92551	0	2023 12	INV	A	333.11	C-FY2023	NAIL ROAD - GEN. P.	
001222 CUMMINS MID-SOUTH LL	D2-92552	0	2023 12	INV	A	310.61	C-FY2023	UTILITIES GEN P.M.	
001222 CUMMINS MID-SOUTH LL	D2-92553	0	2023 12	INV	A	306.12	C-FY2023	SPD - GEN P.M.	
001222 CUMMINS MID-SOUTH LL	D2-92554	0	2023 12	INV	A	313.62	C-FY2023	SPO - GEN P.M. GENE	
						4,318.55			
006917 THE SHOP	3354	0	2023 12	INV	A	80.00	C-FY2023	"ELEVATORS CLOSED"	
007304 O'REILLYS AUTO PARTS	1257-252615	0	2023 12	INV	A	267.20	C-FY2023	BATTERIES FOR I.T &	
008127 WASTE CONNECTIONS OF	6962396W010	0	2023 12	INV	A	657.04	C-FY2023	SPD & CITY HALL DUM	
008127 WASTE CONNECTIONS OF	6963438W010	0	2023 12	INV	A	349.74	C-FY2023	SHOOTING RANGE DUMP	
008127 WASTE CONNECTIONS OF	6964519W010	0	2023 12	INV	A	238.89	C-FY2023	DUMPSTER	
008127 WASTE CONNECTIONS OF	6966730W010	0	2023 12	INV	A	150.00	C-FY2023	DUMPSTERS	
008127 WASTE CONNECTIONS OF	6966731W010	0	2023 12	INV	A	150.00	C-FY2023	DUMPSTERS	
						1,545.67			
016517 UPCHURCH SERVICES, L	225214	0	2023 12	INV	A	2,094.74	C-FY2023	CITY HALL PLUMBING	
019694 MID-SOUTH TELECOM	77698	0	2023 12	INV	A	3,101.50	C-FY2023	PEDESTRIAN BRIDGE C	
022728 FENCING SOLUTIONS &	INV23-1931	0	2023 12	INV	A	2,650.00	C-FY2023	WEST PRECINCT NORTH	
030629 AMAZON CAPITAL	1CPCVJ4KVNPM	0	2023 12	INV	A	36.99	C-FY2023	COMPUTER MONITOR LI	
030629 AMAZON CAPITAL	1R1JT9RM464G	0	2023 12	INV	A	38.53	C-FY2023	EASEL HOLDERS- 4TH	
						75.52			
033109 MID-SOUTH EMERGENCY	2088	0	2023 12	INV	A	610.00	C-FY2023	PARKS EMERGENCY LIG	
033109 MID-SOUTH EMERGENCY	6723	0	2023 12	INV	A	600.00	C-FY2023	PARKS TO REC	
033109 MID-SOUTH EMERGENCY	6724	0	2023 12	INV	A	54.00	C-FY2023	SNOWDEN HOUSE	
033109 MID-SOUTH EMERGENCY	6725	0	2023 12	INV	A	12.00	C-FY2023	TENNIS CENTER EM LI	
033109 MID-SOUTH EMERGENCY	6730	0	2023 12	INV	A	120.00	C-FY2023	WEST PRECINCT	
033109 MID-SOUTH EMERGENCY	6760	0	2023 12	INV	A	180.00	C-FY2023	FEMA EMERGENCY LIGH	
033109 MID-SOUTH EMERGENCY	6761	0	2023 12	INV	A	171.00	C-FY2023	ARENA EMERGENCY LIG	

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
033109 MID-SOUTH EMERGENCY	6762	0	2023 12	INV A	630.00	C-FY2023	CITY HALL EMERGENCY	
033109 MID-SOUTH EMERGENCY	6763	0	2023 12	INV A	180.00	C-FY2023	COURT EMERGENCY LIG	
					2,557.00			
				ACCOUNT TOTAL	18,326.68			
902 622100				PROFESSIONAL SERVICES				
037740 CARROLL WARREN & PAR	23307	0	2023 12	INV A	2,269.86	C-FY2023	SOUTHAVEN 2023 ANNE	
				ACCOUNT TOTAL	2,269.86			
				ORG 902 TOTAL	20,596.54			
903				ADMINISTRATIVE EXPENSES				
903 624102				BANK FEES				
031616 US BANK	6934168	0	2023 12	INV A	1,250.00	C-FY2023	ACCT246373000	
				ACCOUNT TOTAL	1,250.00			
				ORG 903 TOTAL	1,250.00			
FUND 0010 GENERAL FUND					TOTAL:		273,702.55	

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12							
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION	
611			SPECIAL ASSESSMENTS EXPEND				
611	623801		NEIGHBORHOOD PARKS				
001540	MURPHY & SONS, INC.	PAYREQUEST3	2023 12 INV A	154,181.15	C-FY2023	PAYAPP3 NEIGHBORHOO	
			ACCOUNT TOTAL	154,181.15			
611	623802		ARENA PARKING LOT				
000759	LEHMAN ROBERTS CO	PAYREQUEST1	2023 12 INV A	419,778.11	C-FY2023	ARENA ASPHALT	
			ACCOUNT TOTAL	419,778.11			
			ORG 611 TOTAL	573,959.26			
FUND 0240 TOURIST & CONVENTION				TOTAL:	573,959.26		

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12		ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
815					UTILITY CAPITAL IMPROVEMENTS			
815	625300 1550				FIRE EXTENSION PH III			
	015242 TREY CONSTRUCTION, I	PAYAPP10		0	2023 12 INV A	228,432.25	C-FY2023	FIRE SERVICE EXT. P
					ACCOUNT TOTAL	228,432.25		
815	625310				CAPITAL IMPROVEMENTS			
	031530 CY CONSTRUCTION, LLC	1651		0	2023 12 INV A	2,500.00	C-FY2023	BORING @ DORSCHESTE
	031530 CY CONSTRUCTION, LLC	1652		0	2023 12 INV A	2,800.00	C-FY2023	BORING @ DORSCHESTE
						5,300.00		
					ACCOUNT TOTAL	5,300.00		
815	625310 1003				STARLANDING WATER SYS IM PH II			
	026328 WAYPOINT ANALYTICAL	655858		0	2023 12 INV A	116.00	C-FY2023	STAR LANDING WTP SA
					ACCOUNT TOTAL	116.00		
					ORG 815 TOTAL	233,848.25		
820					UTILITY ADMINISTRATIVE EXPENSE			
820	610400				OFFICE SUPPLIES			
	007600 ODP BUSINESS	332849612001		0	2023 12 INV A	69.51	C-FY2023	THERMAL PAPER FOR M
	007823 AMERICAN PAPER & TWI	4742591		0	2023 12 INV A	568.00	C-FY2023	COPIER PAPER UTILIT
					ACCOUNT TOTAL	637.51		
820	626500				PRINTING			
	006685 DEX IMAGING	AR10022300		0	2023 12 INV A	10.69	C-FY2023	MP8773 COPIER IN WA
					ACCOUNT TOTAL	10.69		
820	626900				TRAVEL & TRAINING			
	001339 CREDIT CARD CENTER	10-13-23		0	2023 12 INV A	1,558.86	C-FY2023	TRAVEL CARD-#8906 9
					ACCOUNT TOTAL	1,558.86		
					ORG 820 TOTAL	2,207.06		
825					UTILITY MAINTENANCE EXPENSES			
825	611000				MATERIALS			
	000354 METER SERVICE AND SU	31532		0	2023 12 INV A	743.00	C-FY2023	PVC PIPE
	000354 METER SERVICE AND SU	31534		0	2023 12 INV A	55.68	C-FY2023	FITTINGS
	000354 METER SERVICE AND SU	31602		0	2023 12 INV A	3,659.50	C-FY2023	FITTINGS
	000354 METER SERVICE AND SU	31620		0	2023 12 INV A	1,891.80	C-FY2023	COUPLINGS
	000354 METER SERVICE AND SU	31623		0	2023 12 INV A	241.92	C-FY2023	SEWER PIPE
						6,591.90		

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
000709 WILLIAMS EQUIPMENT	S-4150234	0	2023 12	INV	A	298.29	C-FY2023	BATTERY
000734 MAGNOLIA ELECTRIC	378925	0	2023 12	INV	A	137.62	C-FY2023	UTILITIES - GATE EL
000761 MEMPHIS STONE	157870	0	2023 12	INV	A	763.84	C-FY2023	SAND
001102 SOUTHAVEN SUPPLY	198408	0	2023 12	INV	A	1,256.14	C-FY2023	MISC TOOLS & SUPPLI
001447 NATURE'S EARTH PRODU	T3-022905	0	2023 12	INV	A	106.00	C-FY2023	SCREENED SOIL
007304 O'REILLYS AUTO PARTS	1257-253642	0	2023 12	INV	A	33.98	C-FY2023	FUEL TANK REPAIR
007304 O'REILLYS AUTO PARTS	1257-253651	0	2023 12	INV	A	183.93	C-FY2023	FUEL CANS & MISC
007304 O'REILLYS AUTO PARTS	1257-253695	0	2023 12	INV	A	49.48	C-FY2023	WIPER BLADES
007304 O'REILLYS AUTO PARTS	6399-172462	0	2023 12	INV	A	293.55	C-FY2023	TRUCK JACK FOR DORC
						560.94		
007766 CENTRAL PIPE SUPPLY,	S100344010.001	0	2023 12	INV	A	4,608.96	C-FY2023	BADGER METER HEADS
027766 MIC SALES INC	63139	0	2023 12	INV	A	318.98	C-FY2023	PRESSURE TRANSMITTE
030629 AMAZON CAPITAL	139HGYG3YPTG	0	2023 12	INV	A	13.95	C-FY2023	PHONE SCREEN PROTEC
030629 AMAZON CAPITAL	1C3CGXLGPM17	0	2023 12	INV	A	793.05	C-FY2023	THERMOSTAT & DYE TA
						807.00		
ACCOUNT TOTAL						15,449.67		
825	611100							CHEMICALS
001146 IDEAL CHEMICAL	284504	0	2023 12	INV	A	2,669.75	C-FY2023	CHEMICALS FOR GREEN
001146 IDEAL CHEMICAL	284505	0	2023 12	INV	A	3,729.10	C-FY2023	CHEMICALS FOR GETWE
001146 IDEAL CHEMICAL	284666	0	2023 12	INV	A	1,059.35	C-FY2023	CHEMICALS FOR WHITW
001146 IDEAL CHEMICAL	284667	0	2023 12	INV	A	2,669.75	C-FY2023	CHEMICALS FOR COLLE
001146 IDEAL CHEMICAL	284849	0	2023 12	INV	A	3,729.10	C-FY2023	CHEMICALS FOR GREEN
						13,857.05		
ACCOUNT TOTAL						13,857.05		
825	611300							MAINTENANCE VEHICLES
024154 DISCOUNT TIRE	1378108	0	2023 12	INV	A	1,995.92	C-FY2023	TIRES FOR TRK #870
ACCOUNT TOTAL						1,995.92		
825	622100							PROFESSIONAL SERVICES
000379 HERNDON ELECTRIC	10587	0	2023 12	INV	A	783.51	C-FY2023	GETWELL WATER PLANT
009195 GAINES, ROBERT	1273	0	2023 12	INV	A	4,542.50	C-FY2023	SCADA SERVICES
025672 WISSCO	23206	0	2023 12	INV	A	350.00	C-FY2023	CALIBRATION VISIT @
032345 ISI WATER COMPANY	8	0	2023 12	INV	A	4,666.34	C-FY2023	FINAL INV 4/23-8/23

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
				ACCOUNT TOTAL				10,342.35
825 650903				INTERCEPTOR SEWER TREATMENT				
002848 HORN LAKE CREEK BASI 9202023		0	2023 12	INV A		208,289.37	C-FY2023	SEPT 2023 SEWER FEE
				ACCOUNT TOTAL				208,289.37
			ORG 825	TOTAL				249,934.36
FUND 0400 UTILITY FUND			TOTAL:					485,989.67

FY2023 CLAIMS DOCKET C-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12							
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION	
850			MAINTENANCE EXPENSES				
850	622100		PROFESSIONAL SERVICES				
016415	STATE TREASURER OF M 9-14-23	0	2023 12 INV A	141.41	C-FY2023	UNCLAIMED PROPERTY	
			ACCOUNT TOTAL	141.41			
		ORG 850	TOTAL	141.41			
FUND 0450 SANITATION FUND				TOTAL:	141.41		

** END OF REPORT - Generated by Nicole Hilario **

FY2023 CLAIMS DOCKET D-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
0010			GENERAL FUND						
0010	153610			DUE TO/FROM AMPHITHEATER					
017044	DESOTO COUNTY	INV-0439	0	2023 12	INV P	825,987.43	D-FY2023	209934	JELLY ROLL 2023
017044	DESOTO COUNTY	INV-0441	0	2023 12	INV P	313,232.24	D-FY2023	209934	3 DOORS DOWN 2023
017044	DESOTO COUNTY	INV-0442	0	2023 12	INV P	176,803.01	D-FY2023	209934	LINDSEY STIRLING 20
017044	DESOTO COUNTY	INV-0447	0	2023 12	INV P	229,465.66	D-FY2023	209934	KOE WETZEL 2023
						1,545,488.34			
				ACCOUNT TOTAL		1,545,488.34			
				ORG 0010	TOTAL	1,545,488.34			
111			MAYOR ADMIN DEPARTMENT						
111	622100			PROFESSIONAL SERVICES					
006885	STEGALL NOTARY SERVI	9-21-23	0	2023 12	INV P	178.00	D-FY2023	209929	NOTARY RENEWAL-KRIS
				ACCOUNT TOTAL		178.00			
111	625700			TELEPHONE & POSTAGE					
001167	AT&T MOBILITY	3690-090323	0	2023 12	INV P	56.32	D-FY2023	209856	287266623690-MAYOR
				ACCOUNT TOTAL		56.32			
				ORG 111	TOTAL	234.32			
125			COURT DEPARTMENT						
125	621500			COURT BOND REFUND					
037749	JACKSON GEORGE A	5-10-23-1	0	2023 12	INV P	400.00	D-FY2023	210003	RE-ISSUE CASH BOND
				ACCOUNT TOTAL		400.00			
125	621505			COURT SUPPLIES					
001167	AT&T MOBILITY	5901-090323	0	2023 12	INV P	122.89	D-FY2023	209913	COURT CELL PHONES
				ACCOUNT TOTAL		122.89			
				ORG 125	TOTAL	522.89			
145			DEPARTMENT OF FINANCE & ADMIN						
145	625700			TELEPHONE & POSTAGE					
001167	AT&T MOBILITY	7941-090323	0	2023 12	INV P	163.87	D-FY2023	209856	287280227941-HR CEL
				ACCOUNT TOTAL		163.87			
				ORG 145	TOTAL	163.87			
150			INFORMATION TECHNOLOGY						
150	610550			NETWORK CONNECTIVITY					
001167	AT&T MOBILITY	3491-090323	0	2023 12	INV P	253.38	D-FY2023	209913	28725143491-IT/SDWA
002351	COMCAST	181972981	0	2023 12	INV P	1,850.80	D-FY2023	209918	SDWAN HWY51 & PARKS

FY2023 CLAIMS DOCKET D-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12		ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
002351	COMCAST		3830-0923	0	2023 12 INV P	201.25	D-FY2023	209919 8396400220503830- S
						2,052.05		
					ACCOUNT TOTAL	2,305.43		
150	614000				GASOLINE/OIL			
006919	FUELMAN		NP65095363	0	2023 12 INV P	143.75	D-FY2023	209878 IT FUEL
006919	FUELMAN		NP65122961	0	2023 12 INV P	184.88	D-FY2023	209983 ACCT2241616- IT FUE
						328.63		
					ACCOUNT TOTAL	328.63		
150	625700				TELEPHONE/POSTAGE			
001167	AT&T MOBILITY		3491-090323	0	2023 12 INV P	505.47	D-FY2023	209913 28725143491-IT/SDWA
					ACCOUNT TOTAL	505.47		
					ORG 150 TOTAL	3,139.53		
155					CITY CLERK			
155	625700				TELEPHONE & POSTAGE			
001167	AT&T MOBILITY		9424-090323	0	2023 12 INV P	292.65	D-FY2023	209913 287258869424-CITY C
					ACCOUNT TOTAL	292.65		
					ORG 155 TOTAL	292.65		
160					FACILITIES			
160	611300				MAINTENANCE VEHICLES			
002352	DEPARTMENT OF REVENU		9-19-23	0	2023 12 INV P	12.00	D-FY2023	209920 TAG/MAIL FEE 2023RA
					ACCOUNT TOTAL	12.00		
160	625700				TELEPHONE & POSTAGE			
001167	AT&T MOBILITY		1522-090323	0	2023 12 INV P	245.28	D-FY2023	209913 FACILITIES CELL PHO
					ACCOUNT TOTAL	245.28		
					ORG 160 TOTAL	257.28		
180					PLANNING / ENGINEERING DEPT			
180	611300				MOTOR VEH REPAIRS/MAINT			
002352	DEPARTMENT OF REVENU		9-14-23	0	2023 12 INV P	12.00	D-FY2023	209534 TAG/MAIL FEE 1FMSK7
002352	DEPARTMENT OF REVENU		9-26-23	0	2023 12 INV P	12.00	D-FY2023	209971 '23 FORD F150 KE680
						24.00		
					ACCOUNT TOTAL	24.00		
180	622100				PROFESSIONAL FEES			

FY2023 CLAIMS DOCKET D-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
010920 DALE K. THOMPSON	9-25-23	0	2023 12	INV	P	200.00	D-FY2023	209966 LIEN RELEASE FEES	
ACCOUNT TOTAL						200.00			
180 625700			TELEPHONE/POSTAGE						
001167 AT&T MOBILITY	2685-090323	0	2023 12	INV	P	281.60	D-FY2023	209913 BLDG CELL PHONES	
001167 AT&T MOBILITY	2970-090323	0	2023 12	INV	P	394.24	D-FY2023	209913 CODE ENFOR CELL PHO	
001167 AT&T MOBILITY	4718-090323	0	2023 12	INV	P	122.64	D-FY2023	209913 PLANNING CELL PHONE	
						798.48			
ACCOUNT TOTAL						798.48			
ORG 180 TOTAL						1,022.48			
211			POLICE DEPARTMENT						
211 614000			FUEL & OIL						
006919 FUELMAN	9-18-23	0	2023 12	INV	P	1,528.20	D-FY2023	209877 FUEL FOR SPD FLEET	
006919 FUELMAN	NP65095044	0	2023 12	INV	P	1,904.93	D-FY2023	209981 FUEL FOR SPD FLEET	
						3,433.13			
ACCOUNT TOTAL						3,433.13			
211 622100			PROFESSIONAL SERVICES						
009111 AMERICAN WORKING DOG	7122023	0	2023 12	INV	P	150.00	D-FY2023	209854 AWD CERT BOB	
ACCOUNT TOTAL						150.00			
211 625700			TELEPHONE & POSTAGE						
001137 FEDEX	8-261-07890	0	2023 12	INV	P	47.08	D-FY2023	209980 STRAUSS	
001234 BRIGHTSPEED	1223-091023	0	2023 12	INV	P	289.92	D-FY2023	209916 300091223-POLICE DE	
030081 GC PIVOTAL LLC	INV7946818	0	2023 12	INV	P	420.13	D-FY2023	209539 PHONES	
030081 GC PIVOTAL LLC	INV8088290	0	2023 12	INV	P	927.22	D-FY2023	209539 PHONES	
030081 GC PIVOTAL LLC	INV8204017	0	2023 12	INV	P	1,442.87	D-FY2023	209539 PHONES	
						2,790.22			
ACCOUNT TOTAL						3,127.22			
211 626000			UTILITIES						
000966 ENERGY	340004020673	0	2023 12	INV	P	4,792.82	D-FY2023	209935 37423837-8691 NORTH	
000966 ENERGY	340004020864	0	2023 12	INV	P	75.74	D-FY2023	209935 133300244-8691 NORT	
000966 ENERGY	380003918111	0	2023 12	INV	P	3,023.11	D-FY2023	209935 151475605-7320 HWY	
						7,891.67			
001145 ATMOS ENERGY	6889-0923	0	2023 12	INV	P	37.24	D-FY2023	209933 3017116889-8691 NOR	
002351 COMCAST	1174-0923	0	2023 12	INV	P	485.90	D-FY2023	209917 8396010010001174- S	

FY2023 CLAIMS DOCKET D-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION			
			ACCOUNT TOTAL				8,414.81		
211 035199 626900 MARK R. SMITH	8-11-2023	0	TRAVEL & TRAINING 2023 12 INV P				1,037.50	D-FY2023 209540 SPDLETA 23-02 INSTR	
			ACCOUNT TOTAL				1,037.50		
211 030629 630400 AMAZON CAPITAL	16VYPKMPD13T	0	MACHINERY & EQUIPMENT 2023 12 INV P				182.88	D-FY2023 209932 ISU SUPPLIES	
			ACCOUNT TOTAL				182.88		
			ORG 211 TOTAL				16,345.54		
			EMERGENCY SERVICES						
215 001167 625700 AT&T MOBILITY	8226-090323	0	TELEPHONE/POSTAGE 2023 12 INV P				112.64	D-FY2023 209913 EMERG COMM CELL PHO	
			ACCOUNT TOTAL				112.64		
215 028719 626900 DISPATCHING AND TRAI	6538-1	0	TRAVEL & TRAINING 2023 12 INV P				750.00	D-FY2023 209537 HAZMAT & SUICIDE CA	
			ACCOUNT TOTAL				750.00		
			ORG 215 TOTAL				862.64		
			FIRE DEPARTMENT						
290 006919 614000 FUELMAN	NP65122657	0	FUEL & OIL 2023 12 INV P				144.23	D-FY2023 209982 ACCT 127181-FIRE FU	
			ACCOUNT TOTAL				144.23		
290 038330 622100 BACK ON TRACK CHIROP	SPD09082023	0	PROFESSIONAL SERVICES 2023 12 INV P				280.00	D-FY2023 209915 PRE EMPLOYMENT SCRE	
			ACCOUNT TOTAL				280.00		
290 001167 625700 AT&T MOBILITY	3065-082723	0	TELEPHONE & POSTAGE 2023 12 INV P				1,992.20	D-FY2023 209856 287288053065-FD CEL	
			ACCOUNT TOTAL				1,992.20		
290 000966 626000 ENTERGY	175007182819	0	UTILITIES 2023 12 INV P				345.10	D-FY2023 209976 50134691- 8945 TULA	
290 000966 ENTERGY	175007182882	0	UTILITIES 2023 12 INV P				2,552.25	D-FY2023 209975 51589596-1940 STATE	
							2,897.35		
001145 ATMOS ENERGY	2695-091423	0	2023 12 INV P				189.87	D-FY2023 209941 3019672695-7980 SWI	
001145 ATMOS ENERGY	9368-0923	0	2023 12 INV P				229.48	D-FY2023 209941 3016939368-1940 STA	

FY2023 CLAIMS DOCKET D-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION			
							419.35		
			ACCOUNT TOTAL				3,316.70		
290	626900		TRAVEL & TRAINING						
014048	ALABAMA FIRE COLLEGE 206-091423	0	2023 12 INV P	170.00	D-FY2023	209531	PAYMENT FOR PO#206-		
			ACCOUNT TOTAL				170.00		
			ORG 290 TOTAL				5,903.13		
297			EMS						
297	611300		MOTOR VEH REPAIRS/MAINT						
002352	DEPARTMENT OF REVENU 9-18-2023	0	2023 12 INV P	12.00	D-FY2023	209535	TAG/MAIL FEE (FD)20		
002352	DEPARTMENT OF REVENU 9-18-23	0	2023 12 INV P	12.00	D-FY2023	209536	TAG/MAIL FEE 2023 D		
							24.00		
			ACCOUNT TOTAL				24.00		
297	626900		TRAVEL & TRAINING						
037858	ZAPATA III LUIS CARL 9-19-23	0	2023 12 INV P	144.00	D-FY2023	209912	NREMT/STATE EMT		
			ACCOUNT TOTAL				144.00		
			ORG 297 TOTAL				168.00		
311			PUBLIC WORKS DEPARTMENT						
311	625700		TELEPHONE & POSTAGE						
001167	AT&T MOBILITY 9041-090323	0	2023 12 INV P	282.05	D-FY2023	209913	PUBLIC WORKS CELL P		
			ACCOUNT TOTAL				282.05		
311	626000		UTILITIES						
000966	ENERGY 130006200745	0	2023 12 INV P	11.88	D-FY2023	209926	98050180-5813 PEPPE		
001388	HORN LAKE WATER ASSO 9202023-5700	0	2023 12 INV P	1,516.65	D-FY2023	209927	030257000-5813 PEPP		
			ACCOUNT TOTAL				1,528.53		
			ORG 311 TOTAL				1,810.58		
315			CITY TRAFFIC AND STREETS LIGHT						
315	626000		UTILITIES						
000966	ENERGY 10017989729	0	2023 12 INV P	87.16	D-FY2023	209923	85056398-750 BROOKS		
000966	ENERGY 10017989853	0	2023 12 INV P	40.62	D-FY2023	209924	145700183-2996 COLL		
000966	ENERGY 115007374059	0	2023 12 INV P	118.99	D-FY2023	209922	1108220044-MS 302 @		
000966	ENERGY 125007323759	0	2023 12 INV P	48.76	D-FY2023	209924	16853152-488 CHURCH		
000966	ENERGY 15008208345	0	2023 12 INV P	44.70	D-FY2023	209924	16838005-4830 AIRWA		
000966	ENERGY 15008210624	0	2023 12 INV P	52.68	D-FY2023	209924	59478867-6345 AIRWA		
000966	ENERGY 15008210625	0	2023 12 INV P	89.40	D-FY2023	209923	59478941-6610 AIRWA		

FY2023 CLAIMS DOCKET D-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12													
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION					
000966	ENERGY	15008210626	0	2023	12	INV	P	55.87	D-FY2023	209924	58522954-6875	AIRWA	
000966	ENERGY	185007333241	0	2023	12	INV	P	49.07	D-FY2023	209924	124065178-AIRWAYS	B	
000966	ENERGY	185007333242	0	2023	12	INV	P	57.20	D-FY2023	209923	124075086-AIRWAYS	B	
000966	ENERGY	190006354062	0	2023	12	INV	P	44.84	D-FY2023	209924	16837783-3005	COLLE	
000966	ENERGY	205006866073	0	2023	12	INV	P	46.95	D-FY2023	209924	164909244-GETWELL	&	
000966	ENERGY	205006870903	0	2023	12	INV	P	527.20	D-FY2023	209921	15064967-ST	LT CITY	
000966	ENERGY	290005765249	0	2023	12	INV	P	44.54	D-FY2023	209924	50881309-1005	CHURC	
000966	ENERGY	290005765329	0	2023	12	INV	P	52.55	D-FY2023	209924	52730470-85	CHURCH	
000966	ENERGY	295006060800	0	2023	12	INV	P	68.65	D-FY2023	209923	153800891-GOODMAN	R	
000966	ENERGY	300004140695	0	2023	12	INV	P	118.84	D-FY2023	209922	16293359-WHITWORTH		
000966	ENERGY	300004140721	0	2023	12	INV	P	26.29	D-FY2023	209926	16344749-SWEET	FLAG	
000966	ENERGY	310004126329	0	2023	12	INV	P	118.99	D-FY2023	209922	19075704-MS	302 & T	
000966	ENERGY	350003964685	0	2023	12	INV	P	112.19	D-FY2023	209922	68387034-249	GOODMA	
000966	ENERGY	430003181918	0	2023	12	INV	P	42.34	D-FY2023	209924	161881305-699	RESEA	
000966	ENERGY	430003183543	0	2023	12	INV	P	89.09	D-FY2023	209923	176873271-TRAFFIC	S	
000966	ENERGY	450003242487	0	2023	12	INV	P	56.14	D-FY2023	209923	89417216-5577	GETWE	
000966	ENERGY	500001693992	0	2023	12	INV	P	63.83	D-FY2023	209923	108163825-6145	AIRW	
000966	ENERGY	505003462828	0	2023	12	INV	P	60.52	D-FY2023	209923	63799183-6715	HOSPI	
000966	ENERGY	540001564590	0	2023	12	INV	P	47.25	D-FY2023	209924	91224535-992	CHURCH	
000966	ENERGY	65007735023	0	2023	12	INV	P	58.71	D-FY2023	209923	150262913-CHERRY	BL	
000966	ENERGY	75007701050	0	2023	12	INV	P	41.22	D-FY2023	209924	16832941-5140	TCHUL	
000966	ENERGY	75007701051	0	2023	12	INV	P	139.36	D-FY2023	209922	16835019-TL	MILLBRA	
000966	ENERGY	75007701055	0	2023	12	INV	P	34.07	D-FY2023	209925	16850885-AIRWAYS	AN	
000966	ENERGY	90007738923	0	2023	12	INV	P	97.98	D-FY2023	209923	16713240-CHURCH	RD	
000966	ENERGY	90007738924	0	2023	12	INV	P	40.35	D-FY2023	209925	16713968-CHURCH	RD	
								2,576.35					
001105	NORTHCENTRAL	ELECTRI	7002-082523	0	2023	12	INV	P	823.00	D-FY2023	209928	59247002-MALONE	RD
001105	NORTHCENTRAL	ELECTRI	7009-082523	0	2023	12	INV	P	390.72	D-FY2023	209928	59247009-3750	FREEM
001105	NORTHCENTRAL	ELECTRI	7010-082523	0	2023	12	INV	P	94.82	D-FY2023	209928	59247010-3750	FREEM
001105	NORTHCENTRAL	ELECTRI	7012-082523	0	2023	12	INV	P	485.33	D-FY2023	209928	59247012-STREET	LIG
001105	NORTHCENTRAL	ELECTRI	7013-082523	0	2023	12	INV	P	29.76	D-FY2023	209928	59247013-3750	FREEM
001105	NORTHCENTRAL	ELECTRI	7017-090123	0	2023	12	INV	P	31.68	D-FY2023	209928	59247017-STREET	LIG
001105	NORTHCENTRAL	ELECTRI	7018-082523	0	2023	12	INV	P	46.59	D-FY2023	209928	59247018-STREET	LIG
								1,901.90					
						ACCOUNT TOTAL		4,478.25					
						ORG 315	TOTAL	4,478.25					
411 PARKS DEPARTMENT													
411 612201 PARK MAINTENANCE													
019230	WASTE	PRO-MEMPHIS	1062246	0	2023	12	INV	P	294.27	D-FY2023	210054	ACCT 019776--	TRASH
019230	WASTE	PRO-MEMPHIS	1062248	0	2023	12	INV	P	588.54	D-FY2023	210054	ACCT 019779--	TRASH
019230	WASTE	PRO-MEMPHIS	1062249	0	2023	12	INV	P	149.96	D-FY2023	210054	ACCT 019780--	TRASH
019230	WASTE	PRO-MEMPHIS	1062250	0	2023	12	INV	P	198.07	D-FY2023	210054	ACCT 019782--	TRASH
								1,230.84					
						ACCOUNT TOTAL		1,230.84					

FY2023 CLAIMS DOCKET D-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION		
411 622100				PROFESSIONAL SERVICES					
038322 COMCAST	181980874	0	2023 12	INV P	878.03	D-FY2023	209532 INTERNET/FIBER AMP		
				ACCOUNT TOTAL	878.03				
411 625700				TELEPHONE & POSTAGE					
001167 AT&T MOBILITY	1081-090323	0	2023 12	INV P	604.93	D-FY2023	209913 287265161081-PARKS		
				ACCOUNT TOTAL	604.93				
411 626000				UTILITIES					
000966 ENTERGY	10018000031	0	2023 12	INV P	964.24	D-FY2023	209921 18217924-6277D SNOW		
000966 ENTERGY	10018000032	0	2023 12	INV P	1,334.08	D-FY2023	209921 182817932-6277C SNO		
000966 ENTERGY	120006232177	0	2023 12	INV P	888.87	D-FY2023	209921 20892766-6070 SNOWD		
000966 ENTERGY	125007327554	0	2023 12	INV P	27.66	D-FY2023	209925 31109259-7705 TCHUL		
000966 ENTERGY	125007327555	0	2023 12	INV P	27.66	D-FY2023	209925 31109317-7655 TCHUL		
000966 ENTERGY	125007327556	0	2023 12	INV P	27.66	D-FY2023	209925 31109366-7625 TCHUL		
000966 ENTERGY	125007327557	0	2023 12	INV P	27.79	D-FY2023	209925 31109424-7635 TCHUL		
000966 ENTERGY	125007327558	0	2023 12	INV P	27.66	D-FY2023	209925 31109473-7525 TCHUL		
000966 ENTERGY	125007327559	0	2023 12	INV P	28.43	D-FY2023	209925 31109549-7535 TCHUL		
000966 ENTERGY	125007327560	0	2023 12	INV P	27.66	D-FY2023	209925 31109614-7645 TCHUL		
000966 ENTERGY	125007327561	0	2023 12	INV P	27.66	D-FY2023	209925 31109648-7665 TCHUL		
000966 ENTERGY	125007327562	0	2023 12	INV P	13.85	D-FY2023	209926 31109663-7735 TCHUL		
000966 ENTERGY	125007327608	0	2023 12	INV P	13.29	D-FY2023	209926 22512453-6205 GETWE		
000966 ENTERGY	140006166227	0	2023 12	INV P	8,263.32	D-FY2023	209921 44368587-3335 PINE		
000966 ENTERGY	145007274436	0	2023 12	INV P	124.12	D-FY2023	209922 19046408-3025 CARNI		
000966 ENTERGY	145007276669	0	2023 12	INV P	2,296.36	D-FY2023	209975 123335762-800 STOWO		
000966 ENTERGY	185007333096	0	2023 12	INV P	634.86	D-FY2023	209538 38124624-CHERRY VAL		
000966 ENTERGY	195007279023	0	2023 12	INV P	27.66	D-FY2023	209926 72820194-6305 SNOWD		
000966 ENTERGY	2025739713	0	2023 12	INV P	11,787.49	D-FY2023	209935 41111535-7360 US HW		
000966 ENTERGY	205006874491	0	2023 12	INV P	159.67	D-FY2023	209976 15928989-8400 GREEN		
000966 ENTERGY	215006800849	0	2023 12	INV P	4,095.08	D-FY2023	209921 171475650-6650 SNOW		
000966 ENTERGY	230005716928	0	2023 12	INV P	84.47	D-FY2023	209976 16838419-7505 CHERR		
000966 ENTERGY	230005716930	0	2023 12	INV P	714.97	D-FY2023	209975 16839250-7505 CHER		
000966 ENTERGY	260005765744	0	2023 12	INV P	32.54	D-FY2023	209925 46687588-365 RASCO		
000966 ENTERGY	280005777972	0	2023 12	INV P	2,133.86	D-FY2023	209921 186848966-6277E SNO		
000966 ENTERGY	315005451582	0	2023 12	INV P	2,258.39	D-FY2023	209921 18054049-SNOWDEN BA		
000966 ENTERGY	320004106551	0	2023 12	INV P	320.97	D-FY2023	209922 20291415-3480 SUNSE		
000966 ENTERGY	340004017859	0	2023 12	INV P	417.28	D-FY2023	209922 66074311-6208A SNOW		
000966 ENTERGY	340004017860	0	2023 12	INV P	463.32	D-FY2023	209922 66762873-6275 SNOWD		
000966 ENTERGY	365005080993	0	2023 12	INV P	606.51	D-FY2023	209975 38822441-8925 SWINN		
000966 ENTERGY	370003925815	0	2023 12	INV P	87.95	D-FY2023	209923 47805247-6208 SNOWD		
000966 ENTERGY	375004982817	0	2023 12	INV P	138.01	D-FY2023	209922 74855255-6277B SNOW		
000966 ENTERGY	375004982818	0	2023 12	INV P	27.66	D-FY2023	209926 74869355-6277A SNOW		
000966 ENTERGY	395004854760	0	2023 12	INV P	27.79	D-FY2023	209977 45692910-8925 SWINN		
000966 ENTERGY	425004496768	0	2023 12	INV P	1,658.54	D-FY2023	209975 125567875-800 STOWE		
000966 ENTERGY	425004496769	0	2023 12	INV P	409.50	D-FY2023	209975 125567883-800 STOWE		
000966 ENTERGY	425004498144	0	2023 12	INV P	214.14	D-FY2023	209935 19046929-1978 STATE		
000966 ENTERGY	455004302461	0	2023 12	INV P	59.64	D-FY2023	209923 56395635-7360 US HW		
000966 ENTERGY	480003242384	0	2023 12	INV P	38.07	D-FY2023	209976 16836454-4700 STATE		
000966 ENTERGY	480003242385	0	2023 12	INV P	2,101.65	D-FY2023	209975 16838229-4700 STATE		

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YEAR/PERIOD: 2022/12 TO 2023/12										
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION		
000966	ENERGY	530001617550	0	2023	12	INV P	27.66	D-FY2023	209977	127643922-7890 GREE
000966	ENERGY	65007741141	0	2023	12	INV P	255.82	D-FY2023	209922	16833329-3278 MAY B
000966	ENERGY	65007741142	0	2023	12	INV P	27.66	D-FY2023	209926	16834020-GETWELL &
000966	ENERGY	65007741144	0	2023	12	INV P	467.36	D-FY2023	209921	16837304-6205 SNOWD
000966	ENERGY	65007741146	0	2023	12	INV P	476.57	D-FY2023	209921	16852006-7505 STONE
000966	ENERGY	65007743460	0	2023	12	INV P	27.79	D-FY2023	209977	69723351-8925 SWINN
000966	ENERGY	75007701053	0	2023	12	INV P	63.39	D-FY2023	209538	16836884-CHAPARRAL
000966	ENERGY	75007701054	0	2023	12	INV P	321.57	D-FY2023	209538	16838617-SNOWDEN PA
000966	ENERGY	75007701160	0	2023	12	INV P	83.96	D-FY2023	209538	119242972-7635 TCHU
000966	ENERGY	75007710073	0	2023	12	INV P	28.40	D-FY2023	209935	17424333-1729 BROOK
000966	ENERGY	95007483404	0	2023	12	INV P	5,924.05	D-FY2023	209921	15744642-3376 NAIL
000966	ENERGY	95007483405	0	2023	12	INV P	11.88	D-FY2023	209926	15744865-3566 NAIL
							50,336.44			
001105	NORTHCENTRAL ELECTRI	7010-0923	0	2023	12	INV P	94.82	D-FY2023	209928	59247010-3335 PINE
001105	NORTHCENTRAL ELECTRI	7012-0923	0	2023	12	INV P	485.33	D-FY2023	209928	59247012-3335 PINE
							580.15			
001145	ATMOS ENERGY	1167-091423	0	2023	12	INV P	22.93	D-FY2023	209914	4034951167-740 STOW
001145	ATMOS ENERGY	13076-091423	0	2023	12	INV P	39.85	D-FY2023	209914	3020713076-8925 SWI
001145	ATMOS ENERGY	2435-0923	0	2023	12	INV P	37.24	D-FY2023	209933	3019672435-8400 GRE
001145	ATMOS ENERGY	3727-091423	0	2023	12	INV P	22.93	D-FY2023	209914	4010573727-800 STOW
001145	ATMOS ENERGY	7730-0923	0	2023	12	INV P	88.35	D-FY2023	209857	3015017730- 1320 BR
001145	ATMOS ENERGY	7945-090723	0	2023	12	INV P	398.40	D-FY2023	209914	3015017945-8710 NOR
							609.70			
001234	BRIGHTSPEED	200022-0923	0	2023	12	INV P	936.81	D-FY2023	209916	400200022-PHONES
001234	BRIGHTSPEED	3210-090223	0	2023	12	INV P	173.83	D-FY2023	209861	465283210-PHONES
							1,110.64			
002351	COMCAST	1174-0923	0	2023	12	INV P	645.97	D-FY2023	209917	8396010010001174- S
002351	COMCAST	2755-091223	0	2023	12	INV P	261.30	D-FY2023	209962	8396400220532755- I
002351	COMCAST	5287-091223	0	2023	12	INV P	251.25	D-FY2023	209963	8396400220535287- I
							1,158.52			
016529	DIRECTV	19027170X230917	0	2023	12	INV P	129.37	D-FY2023	209972	ACCT 091027170- TV
016529	DIRECTV	230909-0923	0	2023	12	INV P	94.15	D-FY2023	209876	018993796X230909- T
016529	DIRECTV	X230909-0923	0	2023	12	INV P	331.69	D-FY2023	209876	026446724X230909-TV
							555.21			
ACCOUNT TOTAL							54,350.66			
ORG 411 TOTAL							57,064.46			

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YEAR/PERIOD: 2022/12 TO 2023/12												
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION				
412				PARK TOURNAMENTS								
412	627901			TOURNAMENT UMPIRE FEES								
001051	MALONE TERRY	9-24-23	0	2023	12	INV	P	550.00	D-FY2023	210020	PG FALL NATIONALS 9	
001058	TRUITT CHARLES	9-24-23	0	2023	12	INV	P	275.00	D-FY2023	210051	PG FALL NATIONALS 9	
002749	HENTZ JEFF	9-24-23	0	2023	12	INV	P	990.00	D-FY2023	209993	PG FALL NATIONALS 9	
008272	STOCKTON RANDY	9-24-23	0	2023	12	INV	P	545.00	D-FY2023	210046	PG FALL NATIONALS 9	
008692	WELCH HENRY JOEY	9-16-23	0	2023	12	INV	P	405.00	D-FY2023	209908	2023 FALL BRAWL	
008764	BEASLEY GARY	9-24-23	0	2023	12	INV	P	1,523.00	D-FY2023	209943	PG FALL NATIONALS 9	
008915	RUCKER JOSEPH M	9-16-23	0	2023	12	INV	P	270.00	D-FY2023	209895	2023 FALL BRAWL	
009479	HILL ROBERT LEWIS	9-24-23	0	2023	12	INV	P	490.00	D-FY2023	209995	PG FALL NATIONALS 9	
010184	ACKERMAN JOHNNY	9-24-23	0	2023	12	INV	P	735.00	D-FY2023	209937	PG FALL NATIONALS 9	
010287	CLYNES DENNIS	9-24-23	0	2023	12	INV	P	455.00	D-FY2023	209960	PG FALL NATIONALS 9	
011652	WRENN DALE	9-24-23	0	2023	12	INV	P	255.00	D-FY2023	210060	PG FALL NATIONALS 9	
011656	JORDAN BRANDON	9-24-23	0	2023	12	INV	P	525.00	D-FY2023	210007	PG FALL NATIONALS 9	
016709	DAVIS DANIEL	9-16-23	0	2023	12	INV	P	405.00	D-FY2023	209873	2023 FALL BRAWL	
016709	DAVIS DANIEL	9-24-23	0	2023	12	INV	P	1,000.00	D-FY2023	209968	PG FALL NATIONALS 9	
								1,405.00				
017285	STAFFORD ALICIA	9-24-23	0	2023	12	INV	P	140.00	D-FY2023	210044	FALL NATIONALS SCOR	
021366	DEAN JESSE CALVIN	9-24-23	0	2023	12	INV	P	305.00	D-FY2023	209970	PG FALL NATIONALS 9	
021370	GORE JAMES HUNTER	9-24-23	0	2023	12	INV	P	270.00	D-FY2023	209985	PG FALL NATIONALS 9	
021399	JORDAN JORDAN	9-16-23	0	2023	12	INV	P	482.00	D-FY2023	209884	2023 FALL BRAWL SCO	
021399	JORDAN JORDAN	9-24-23	0	2023	12	INV	P	1,129.00	D-FY2023	210008	FALL NATIONALS SCOR	
								1,611.00				
021400	TAYLOR JASON L	9-16-23	0	2023	12	INV	P	360.00	D-FY2023	209900	2023 FALL BRAWL	
022623	TARTT JEFFREY	9-24-23	0	2023	12	INV	P	525.00	D-FY2023	210047	PG FALL NATIONALS 9	
023087	WATSON LAWRENCE	9-24-23	0	2023	12	INV	P	600.00	D-FY2023	210057	PG FALL NATIONALS 9	
023182	CASHION JOHN H	9-24-23	0	2023	12	INV	P	240.00	D-FY2023	209955	PG FALL NATIONALS 9	
023354	SEAGO DANIEL PETE	9-24-23	0	2023	12	INV	P	345.00	D-FY2023	210037	PG FALL NATIONALS 9	

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YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
024515 BOND STEVE	9-24-2023	0	2023 12	INV	P	410.00 D-FY2023	209947	PG FALL NATIONALS 9	
024526 LACEY PATRICK	9-24-23	0	2023 12	INV	P	330.00 D-FY2023	210014	PG FALL NATIONALS 9	
026216 SHEARON JOSHUA	9-24-23	0	2023 12	INV	P	260.00 D-FY2023	210038	PG FALL NATIONALS 9	
026232 TATKO MARK	9-24-23	0	2023 12	INV	P	2,450.00 D-FY2023	210048	PG FALL NATIONALS 9	
026234 CLARK NICHOLAS	9-24-23	0	2023 12	INV	P	395.00 D-FY2023	209959	PG FALL NATIONALS 9	
026606 FARMER TAJMAHAL	9-24-23	0	2023 12	INV	P	570.00 D-FY2023	209979	PG FALL NATIONALS 9	
026760 WILSON VICTORIA	9-16-23	0	2023 12	INV	P	200.00 D-FY2023	209909	2023 FALL BRAWL	
027299 ELLIS ORLANDO	9-24-23	0	2023 12	INV	P	345.00 D-FY2023	209974	PG FALL NATIONALS 9	
027984 CRITTENDEN TAYLOR	9-16-23	0	2023 12	INV	P	66.00 D-FY2023	209869	2023 FALL BRAWL SCO	
028224 WALKER KEVIN	9-24-23	0	2023 12	INV	P	480.00 D-FY2023	210053	PG FALL NATIONALS 9	
028302 YOUNT BRANDY	28302	0	2023 12	INV	P	315.00 D-FY2023	209911	2023 FALL BRAWL	
028303 DAVIS THOMAS	9-24-23	0	2023 12	INV	P	395.00 D-FY2023	209969	PG FALL NATIONALS 9	
028446 STEVENSON LONTREAL	9-24-23	0	2023 12	INV	P	620.00 D-FY2023	210045	PG FALL NATIONALS 9	
028486 HODGES DERRICK	9-24-23	0	2023 12	INV	P	300.00 D-FY2023	209996	PG FALL NATIONALS 9	
029256 CARMICHAEL JONATHAN	9-16-23	0	2023 12	INV	P	1,165.00 D-FY2023	209864	2023 FALL BRAWL	
029257 OSBURN JASON	9-16-23	0	2023 12	INV	P	405.00 D-FY2023	209890	2023 FALL BRAWL	
029772 BENAFIELD STEPHEN	9-16-23	0	2023 12	INV	P	405.00 D-FY2023	209858	2023 FALL BRAWL	
030226 BIRD JR RUSSELL	9-16-23	0	2023 12	INV	P	315.00 D-FY2023	209859	2023 FALL BRAWL	
030373 DOVE RANDY	9-24-23	0	2023 12	INV	P	735.00 D-FY2023	209973	PG FALL NATIONALS 9	
030405 SPENCE SCOTTY	9-16-23	0	2023 12	INV	P	360.00 D-FY2023	209899	2023 FALL BRAWL	
030790 CLARK FERNANDO	9-24-23	0	2023 12	INV	P	525.00 D-FY2023	209958	PG FALL NATIONALS 9	
031989 HARLOW WILLIAM C	9-17-23	0	2023 12	INV	P	360.00 D-FY2023	209987	TENNIS SEPT 15-17	
032094 HODGES JADARRIUS	9-24-23	0	2023 12	INV	P	265.00 D-FY2023	209997	PG FALL NATIONALS 9	
032095 GOODWIN JOHN	9-24-23	0	2023 12	INV	P	765.00 D-FY2023	209984	PG FALL NATIONALS 9	
032102 BURDETTE AMANDA	9-24-23	0	2023 12	INV	P	340.00 D-FY2023	209952	FALL NATIONALS SCOR	
032192 SIMS MICHAEL	9-24-23	0	2023 12	INV	P	560.00 D-FY2023	210040	PG FALL NATIONALS 9	

FY2023 CLAIMS DOCKET D-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
032210 WATKINS ARBEDELL	9-24-23	0	2023 12	INV	P	520.00 D-FY2023	210055 PG	FALL NATIONALS 9	
033258 KNOTT STEPHEN	9-24-23	0	2023 12	INV	P	260.00 D-FY2023	210010 PG	FALL NATIONALS 9	
033375 MCCLURKAN JOSH	9-24-23	0	2023 12	INV	P	210.00 D-FY2023	210022 PG	FALL NATIONALS 9	
033444 MILLER DUSTIN	9-24-23	0	2023 12	INV	P	665.00 D-FY2023	210023 PG	FALL NATIONALS 9	
033446 POLLARD WILLIAM	9-24-23	0	2023 12	INV	P	525.00 D-FY2023	210028 PG	FALL NATIONALS 9	
033494 KOHNKE MATTHEW S	9-24-23	0	2023 12	INV	P	210.00 D-FY2023	210012 PG	FALL NATIONALS 9	
033595 MOODY KIRSTEN	9-16-23	0	2023 12	INV	P	88.00 D-FY2023	209888 2023	FALL BRAWL SCO	
033595 MOODY KIRSTEN	9-24-23	0	2023 12	INV	P	88.00 D-FY2023	210024 FALL	NATIONALS SCOR	
						176.00			
033682 BRADLEY KARSYN	9-24-23	0	2023 12	INV	P	88.00 D-FY2023	209949 FALL	NATIONALS SCOR	
033748 CASSELL ROBERT	9-24-23	0	2023 12	INV	P	620.00 D-FY2023	209956 PG	FALL NATIONALS 9	
033831 HARSH JEFFREY A	9-16-23	0	2023 12	INV	P	315.00 D-FY2023	209880 2023	FALL BRAWL	
033832 SHERMAN TODD	9-16-23	0	2023 12	INV	P	315.00 D-FY2023	209897 2023	FALL BRAWL	
034000 GUTH THOMAS	9-16-23	0	2023 12	INV	P	315.00 D-FY2023	209879 2023	FALL BRAWL	
034391 RAINEY GEORGE ANDREW	9-24-23	0	2023 12	INV	P	198.00 D-FY2023	210030 FALL	NATIONALS SCOR	
034394 RICH KELSEY	9-16-23	0	2023 12	INV	P	132.00 D-FY2023	209894 2023	FALL BRAWL SCO	
034394 RICH KELSEY	9-24-23	0	2023 12	INV	P	140.00 D-FY2023	210031 FALL	NATIONALS SCOR	
						272.00			
034444 GRAY PANELLIPI	9-24-23	0	2023 12	INV	P	88.00 D-FY2023	209986 FALL	NATIONALS SCOR	
034591 HARRIS MARSHON K	9-24-23	0	2023 12	INV	P	600.00 D-FY2023	209988 PG	FALL NATIONALS 9	
035272 COX MADISON	9-16-23	0	2023 12	INV	P	88.00 D-FY2023	209868 2023	FALL BRAWL SCO	
035272 COX MADISON	9-24-23	0	2023 12	INV	P	88.00 D-FY2023	209964 FALL	NATIONALS SCOR	
						176.00			
035273 BROWNLEE MELISSA	9-16-23	0	2023 12	INV	P	66.00 D-FY2023	209862 2023	FALL BRAWL SCO	
035280 BOSWOOD ALYSSA	9-24-23	0	2023 12	INV	P	44.00 D-FY2023	209948 FALL	NATIONALS SCOR	
035283 HILL AMY	9-24-23	0	2023 12	INV	P	110.00 D-FY2023	209994 FALL	NATIONALS SCOR	
035298 BRENTS KALAH	9-16-23	0	2023 12	INV	P	315.00 D-FY2023	209860 2023	FALL BRAWL	

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YEAR/PERIOD: 2022/12 TO 2023/12										
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION		
035360 SIMPSON III EARNEST	9-24-23	0	2023 12	INV	P	525.00 D-FY2023	210039	PG FALL NATIONALS	9	
035363 BERNARD WILLIAM	9-24-23	0	2023 12	INV	P	735.00 D-FY2023	209945	PG FALL NATIONALS	9	
035364 SMITH BRANDON COLT	9-24-23	0	2023 12	INV	P	465.00 D-FY2023	210042	PG FALL NATIONALS	9	
035367 BIBLE JOSH	9-24-23	0	2023 12	INV	P	550.00 D-FY2023	209946	PG FALL NATIONALS	9	
035416 TURNMIRE CARMEN	9-16-23	0	2023 12	INV	P	66.00 D-FY2023	209904	2023 FALL BRAWL	SCO	
035456 JOHNSON BRIANNA	9-16-23	0	2023 12	INV	P	88.00 D-FY2023	209883	2023 FALL BRAWL	SCO	
035456 JOHNSON BRIANNA	9-24-23	0	2023 12	INV	P	198.00 D-FY2023	210005	FALL NATIONALS	SCOR	
						286.00				
035459 PIGE JAYLON	9-24-23	0	2023 12	INV	P	352.00 D-FY2023	210026	FALL NATIONALS	SCOR	
035706 KULESZA MATTHEW	9-24-23	0	2023 12	INV	P	540.00 D-FY2023	210013	PG FALL NATIONALS	9	
035747 BELL RYAN	9-24-2023	0	2023 12	INV	P	645.00 D-FY2023	209944	PG FALL NATIONALS	9	
035752 HOOD KAYLEE	9-16-23	0	2023 12	INV	P	66.00 D-FY2023	209882	2023 FALL BRAWL	SCO	
035753 HOOD JENNIFER	9-16-23	0	2023 12	INV	P	132.00 D-FY2023	209881	2023 FALL BRAWL	SCO	
035846 THURMAN HASSIE	9-16-23	0	2023 12	INV	P	66.00 D-FY2023	209902	2023 FALL BRAWL	SCO	
035846 THURMAN HASSIE	9-24-23	0	2023 12	INV	P	110.00 D-FY2023	210050	FALL NATIONALS	SCOR	
						176.00				
035921 HENRY MICHAEL	9-24-23	0	2023 12	INV	P	130.00 D-FY2023	209992	PG FALL NATIONALS	9	
035966 SMITH JR CORNELIUS	9-16-23	0	2023 12	INV	P	66.00 D-FY2023	209898	2023 FALL BRAWL	SCO	
035966 SMITH JR CORNELIUS	9-24-23	0	2023 12	INV	P	220.00 D-FY2023	210043	FALL NATIONALS	SCOR	
						286.00				
035984 ARMSTRONG LONDEN	9-16-23	0	2023 12	INV	P	66.00 D-FY2023	209855	2023 FALL BRAWL	SCO	
035986 THURMON JOSHUA	9-16-23	0	2023 12	INV	P	66.00 D-FY2023	209903	2023 FALL BRAWL	SCO	
036079 CARTER GRAHAM	9-16-23	0	2023 12	INV	P	405.00 D-FY2023	209865	2023 FALL BRAWL		
036341 LIPE COHEN	9-24-23	0	2023 12	INV	P	154.00 D-FY2023	210018	FALL NATIONALS	SCOR	
036439 DAVIS BAILEE	9-24-23	0	2023 12	INV	P	88.00 D-FY2023	209967	FALL NATIONALS	SCOR	
037099 HENDERSON ALAN	9-24-23	0	2023 12	INV	P	44.00 D-FY2023	209990	FALL NATIONALS	SCOR	
037105 LEWIS DRAKE T	9-24-23	0	2023 12	INV	P	132.00 D-FY2023	210017	FALL NATIONALS	SCOR	
037106 CHE' AVA	9-16-23	0	2023 12	INV	P	66.00 D-FY2023	209866	2023 FALL BRAWL	SCO	

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YEAR/PERIOD: 2022/12 TO 2023/12										
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION		
037106 CHE' AVA	9-24-23	0	2023 12	INV	P	154.00	D-FY2023	209957 FALL NATIONALS SCOR		
						220.00				
037109 WRIGHT JAMES DARRELL	9-16-23	0	2023 12	INV	P	88.00	D-FY2023	209910 2023 FALL BRAWL SCO		
037109 WRIGHT JAMES DARRELL	9-24-23	0	2023 12	INV	P	176.00	D-FY2023	210061 FALL NATIONALS SCOR		
						264.00				
037112 RIVINO ISABELLA	9-24-23	0	2023 12	INV	P	44.00	D-FY2023	210032 FALL NATIONALS SCOR		
037301 POLLARD LASEDRICK	9-24-23	0	2023 12	INV	P	530.00	D-FY2023	210027 PG FALL NATIONALS 9		
037303 HOLLIDAY III WILLIAM	9-24-23	0	2023 12	INV	P	595.00	D-FY2023	209998 PG FALL NATIONALS 9		
037305 BROOKS DEXTER	9-24-23	0	2023 12	INV	P	525.00	D-FY2023	209950 PG FALL NATIONALS 9		
037307 HAWKINS PEYTON	9-24-23	0	2023 12	INV	P	154.00	D-FY2023	209989 FALL NATIONALS SCOR		
037312 SIMS ZION	9-24-23	0	2023 12	INV	P	88.00	D-FY2023	210041 FALL NATIONALS SCOR		
037313 KNOTTS TUCKER	9-24-23	0	2023 12	INV	P	88.00	D-FY2023	210011 FALL NATIONALS SCOR		
037318 HOSKINS DARIUS	9-24-23	0	2023 12	INV	P	110.00	D-FY2023	210001 FALL NATIONALS SCOR		
037326 HOLMES DERRICK JAMAR	9-24-23	0	2023 12	INV	P	280.00	D-FY2023	210000 PG FALL NATIONALS 9		
037327 CADENHEAD CODY C	9-24-23	0	2023 12	INV	P	325.00	D-FY2023	209953 PG FALL NATIONALS 9		
037329 BROWNLEE KATIE	9-24-23	0	2023 12	INV	P	110.00	D-FY2023	209951 FALL NATIONALS SCOR		
037331 HOLLIDAY JACKSON	9-24-23	0	2023 12	INV	P	242.00	D-FY2023	209999 FALL NATIONALS SCOR		
037332 KELLY CALEB	9-24-23	0	2023 12	INV	P	110.00	D-FY2023	210009 FALL NATIONALS SCOR		
037334 WADE NOLAN	9-16-23	0	2023 12	INV	P	66.00	D-FY2023	209905 2023 FALL BRAWL SCO		
037334 WADE NOLAN	9-24-23	0	2023 12	INV	P	44.00	D-FY2023	210052 FALL NATIONALS SCOR		
						110.00				
037337 SANTUCCI SHERRIE	9-24-23	0	2023 12	INV	P	140.00	D-FY2023	210035 FALL NATIONALS SCOR		
037391 SCOTT REGINALD	9-24-23	0	2023 12	INV	P	550.00	D-FY2023	210036 PG FALL NATIONALS 9		
037396 LEE JOSEPH ANGLIN	9-24-23	0	2023 12	INV	P	510.00	D-FY2023	210016 PG FALL NATIONALS 9		
037400 WATSON JAYLON	9-16-23	0	2023 12	INV	P	88.00	D-FY2023	209906 2023 FALL BRAWL SCO		
037400 WATSON JAYLON	9-24-23	0	2023 12	INV	P	242.00	D-FY2023	210056 FALL NATIONALS SCOR		
						330.00				
037401 RANDLE JAYLAN	9-16-23	0	2023 12	INV	P	88.00	D-FY2023	209893 2023 FALL BRAWL SCO		

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YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
037402 BASS O'RYAN	9-24-23	0	2023 12	INV	P	176.00 D-FY2023	209942	FALL NATIONALS SCOR	
037512 WEGFEHRT MAYSEY	9-16-23	0	2023 12	INV	P	66.00 D-FY2023	209907	2023 FALL BRAWL SCO	
037512 WEGFEHRT MAYSEY	9-24-23	0	2023 12	INV	P	110.00 D-FY2023	210058	FALL NATIONALS SCOR	
						176.00			
037553 DANIEL AERION	9-16-23	0	2023 12	INV	P	66.00 D-FY2023	209872	2023 FALL BRAWL SCO	
037607 CARTER MARK	9-24-23	0	2023 12	INV	P	455.00 D-FY2023	209954	PG FALL NATIONALS 9	
037621 ABLES AVA	9-24-23	0	2023 12	INV	P	88.00 D-FY2023	209936	FALL NATIONALS SCOR	
037824 DAVIS DOUGLAS R	9-16-23	0	2023 12	INV	P	405.00 D-FY2023	209874	2023 FALL BRAWL	
037846 RODGERS RASHAD	9-24-23	0	2023 12	INV	P	44.00 D-FY2023	210033	FALL NATIONALS SCOR	
037850 HENDRICHOVSKY ANDREW	9-24-23	0	2023 12	INV	P	154.00 D-FY2023	209991	FALL NATIONALS SCOR	
037852 CALLAHAN ADALYN	9-16-23	0	2023 12	INV	P	66.00 D-FY2023	209863	2023 FALL BRAWL SCO	
037916 ADAMS BRIANNA	9-16-23	0	2023 12	INV	P	315.00 D-FY2023	209853	2023 FALL BRAWL	
037916 ADAMS BRIANNA	9-24-23	0	2023 12	INV	P	44.00 D-FY2023	209938	FALL NATIONALS SCOR	
						359.00			
037917 MARETT BROCK	9-24-23	0	2023 12	INV	P	455.00 D-FY2023	210021	PG FALL NATIONALS 9	
037932 OVERMAN BRUCE	9-16-23	0	2023 12	INV	P	405.00 D-FY2023	209891	2023 FALL BRAWL	
037933 MORRIS JOSEPH	9-16-23	0	2023 12	INV	P	180.00 D-FY2023	209889	2023 FALL BRAWL	
037956 JOHNSON DYLAN WADE	9-24-23	0	2023 12	INV	P	870.00 D-FY2023	210006	PG FALL NATIONALS 9	
038219 LANE NOAH	9-16-23	0	2023 12	INV	P	66.00 D-FY2023	209885	2023 FALL BRAWL SCO	
038219 LANE NOAH	9-24-23	0	2023 12	INV	P	88.00 D-FY2023	210015	FALL NATIONALS SCOR	
						154.00			
038252 CUPP JAMES ERIC	9-16-23	0	2023 12	INV	P	315.00 D-FY2023	209870	2023 FALL BRAWL	
038256 SANDERS CADE E	9-24-23	0	2023 12	INV	P	88.00 D-FY2023	210034	FALL NATIONALS SCOR	
038338 LUCAS DONNA	9-16-23	0	2023 12	INV	P	132.00 D-FY2023	209886	2023 FALL BRAWL SCO	
038338 LUCAS DONNA	9-24-23	0	2023 12	INV	P	140.00 D-FY2023	210019	FALL NATIONALS SCOR	
						272.00			
038339 HUTSON AVERY	9-24-23	0	2023 12	INV	P	44.00 D-FY2023	210002	FALL NATIONALS SCOR	
038340 COOK ADDISON	9-16-23	0	2023 12	INV	P	132.00 D-FY2023	209867	2023 FALL BRAWL SCO	

FY2023 CLAIMS DOCKET D-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
038341 QUINN CYLEN	9-16-23	0	2023 12	INV	P	66.00	D-FY2023	209892	2023 FALL BRAWL SCO
038341 QUINN CYLEN	9-24-23	0	2023 12	INV	P	66.00	D-FY2023	210029	FALL NATIONALS SCOR
						132.00			
038342 THORN WILLIAM DANIEL	9-16-23	0	2023 12	INV	P	88.00	D-FY2023	209901	2023 FALL BRAWL SCO
038342 THORN WILLIAM DANIEL	9-24-23	0	2023 12	INV	P	44.00	D-FY2023	210049	FALL NATIONALS SCOR
						132.00			
038402 DABNEY ELISHA	9-16-23	0	2023 12	INV	P	88.00	D-FY2023	209871	2023 FALL BRAWL SCO
038402 DABNEY ELISHA	9-24-23	0	2023 12	INV	P	154.00	D-FY2023	209965	FALL NATIONALS SCOR
						242.00			
038421 JOHNSON ANIYA	9-24-23	0	2023 12	INV	P	88.00	D-FY2023	210004	FALL NATIONALS SCOR
038422 WHITEHEAD CHARQUEZ	9-24-23	0	2023 12	INV	P	110.00	D-FY2023	210059	FALL NATIONALS SCOR
038423 ETTER ANNA	9-24-23	0	2023 12	INV	P	154.00	D-FY2023	209978	FALL NATIONALS SCOR
038424 NORMAN SIENNA	9-24-23	0	2023 12	INV	P	44.00	D-FY2023	210025	FALL NATIONALS SCOR
ACCOUNT TOTAL						49,371.00			
ORG 412 TOTAL						49,371.00			
511	MUNICIPAL CODE ENFORCEMENT								
511 625700	TELEPHONE & POSTAGE								
001167 AT&T MOBILITY	7723-090323	0	2023 12	INV	P	281.85	D-FY2023	209913	287269097723-ANIMAL
ACCOUNT TOTAL						281.85			
ORG 511 TOTAL						281.85			
902	GENERAL EXPENSES								
902 620902	FACILITIES MANAGEMENT								
000966 ENTERGY	130006204885	0	2023 12	INV	P	47.95	D-FY2023	209976	190769851-9105 GETW
000966 ENTERGY	135007279350	0	2023 12	INV	P	19.54	D-FY2023	209538	17624743-6200 GETWE
000966 ENTERGY	2025739714	0	2023 12	INV	P	7,104.93	D-FY2023	209975	68111178-8554 NORTH
000966 ENTERGY	250005744648	0	2023 12	INV	P	1,120.72	D-FY2023	209975	130057649-7312 HWY
000966 ENTERGY	265006340938	0	2023 12	INV	P	2,284.20	D-FY2023	209975	16004111-8889 NORTH
000966 ENTERGY	265006340952	0	2023 12	INV	P	78.76	D-FY2023	209976	15991573-8710 NORTH
000966 ENTERGY	270005777430	0	2023 12	INV	P	39.58	D-FY2023	209538	109997221-2009 STAR
000966 ENTERGY	270005777431	0	2023 12	INV	P	46.53	D-FY2023	209538	109997247-165 STARL
000966 ENTERGY	280005777664	0	2023 12	INV	P	41.22	D-FY2023	209976	60209269-7111 TCHUL
000966 ENTERGY	310004131641	0	2023 12	INV	P	8,612.91	D-FY2023	209975	16831992-8700 NORTH
000966 ENTERGY	345005211611	0	2023 12	INV	P	19.59	D-FY2023	209538	17623570-6052 ELMOR
000966 ENTERGY	510001697971	0	2023 12	INV	P	138.42	D-FY2023	209976	80540586-8889 NORTH
						19,554.35			

FY2023 CLAIMS DOCKET D-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
002351 COMCAST	200510-0923	0	2023 12	INV P	306.92 D-FY2023	209961	8396400220200510-CI	
037931 SEWAH STUDIOS INC	43827	0	2023 12	INV P	3,370.00 D-FY2023	209896	THE JAYCEE POOL HIS	
ACCOUNT TOTAL					23,231.27			
902 622100				PROFESSIONAL SERVICES				
022644 CORPORATE PLANNING	2814	0	2023 12	INV P	883.00 D-FY2023	209533	FSA MONTHLY FEES &	
ACCOUNT TOTAL					883.00			
902 625520				SIGNALS				
000497 DESOTO COUNTY ELECTR	PAYREQUEST1	0	2023 12	INV P	26,113.60 D-FY2023	209875	GREENBROOK/RASCO TR	
ACCOUNT TOTAL					26,113.60			
ORG 902			TOTAL		50,227.87			
FUND 0010 GENERAL FUND					TOTAL:	1,737,634.68		

FY2023 CLAIMS DOCKET D-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
0400								UTILITY FUND	
0400	130700							ACCOUNTS RECEIVABLE	
038019	MCGINNIS LAUREN	7-2023	0	2023	12	INV P	60.35	D-FY2023	209887 REISSUE
							60.35		
							60.35		
							60.35		
							60.35		
825								UTILITY MAINTENANCE EXPENSES	
825	611000							MATERIALS	
030629	AMAZON CAPITAL	1739L73PC9G3	0	2023	12	INV P	614.76	D-FY2023	209939 DISPOSABLE GLOVES U
							614.76		
							614.76		
825	625700							TELEPHONE & POSTAGE	
001167	AT&T MOBILITY	4319-082723	0	2023	12	INV P	1,556.28	D-FY2023	209856 287309584319-CRADLE
001167	AT&T MOBILITY	60413-090323	0	2023	12	INV P	2,366.21	D-FY2023	209913 287251660413-UTILIT
							3,922.49		
							3,922.49		
825	626000							UTILITIES	
000966	ENERGY	120006237523	0	2023	12	INV P	108.11	D-FY2023	209976 16835233-TOWN & COU
000966	ENERGY	120006237524	0	2023	12	INV P	32.48	D-FY2023	209976 16839508-8989 STANT
000966	ENERGY	15008214545	0	2023	12	INV P	27.66	D-FY2023	209925 39758438-5850 GETWE
000966	ENERGY	175007182691	0	2023	12	INV P	31.58	D-FY2023	209976 16292922-8779 WHITW
000966	ENERGY	2025739501	0	2023	12	INV P	11,882.92	D-FY2023	209975 16850588-7525 GREEN
000966	ENERGY	2025743342	0	2023	12	INV P	8.99	D-FY2023	209977 16851735-5795 PEPPE
000966	ENERGY	250005742516	0	2023	12	INV P	36.70	D-FY2023	209976 18141937-8440 GREEN
000966	ENERGY	310004131645	0	2023	12	INV P	85.59	D-FY2023	209923 16835787-HUDGINS
000966	ENERGY	325005366456	0	2023	12	INV P	37.73	D-FY2023	209976 163913981-SWINNEA R
000966	ENERGY	355005142040	0	2023	12	INV P	121.69	D-FY2023	209922 167538396-8827 GETW
000966	ENERGY	375004982885	0	2023	12	INV P	4,507.40	D-FY2023	209921 76259076-3088 NAIL
000966	ENERGY	400002903505	0	2023	12	INV P	12.26	D-FY2023	209538 19045665-6845 MCCA
000966	ENERGY	420003164865	0	2023	12	INV P	206.73	D-FY2023	209922 102092335-8182 GETW
000966	ENERGY	425004498145	0	2023	12	INV P	12.57	D-FY2023	209977 19047166-1281 BROOK
000966	ENERGY	430003184715	0	2023	12	INV P	14.49	D-FY2023	209977 16851180-7696 AIRWA
000966	ENERGY	435004443421	0	2023	12	INV P	30.38	D-FY2023	209538 126811512-AIRWAYS B
000966	ENERGY	450003246374	0	2023	12	INV P	11,580.51	D-FY2023	209975 16293136-8779 WHITW
000966	ENERGY	50008533229	0	2023	12	INV P	170.68	D-FY2023	209538 173771627-5937 KUYK
000966	ENERGY	650007741147	0	2023	12	INV P	29.15	D-FY2023	209925 16852907-1334 GOODM
000966	ENERGY	65007741148	0	2023	12	INV P	7,842.79	D-FY2023	209921 16853459-5850 GETWE
000966	ENERGY	65007743393	0	2023	12	INV P	30.83	D-FY2023	209977 71532782-1433 STATE
000966	ENERGY	75007701052	0	2023	12	INV P	297.30	D-FY2023	209538 16836702-6854 TCHUL
000966	ENERGY	75007701056	0	2023	12	INV P	18.41	D-FY2023	209538 16851461-HUNTERS GL
							37,126.95		
001145	ATMOS ENERGY	5862-0923	0	2023	12	INV P	22.93	D-FY2023	209914 4024565862-8182 GET

FY2023 CLAIMS DOCKET D-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION	
001167 AT&T MOBILITY	10592-090523	0	2023 12	INV P	58.85 D-FY2023	209940	66244926050010592-U	
002351 COMCAST	1174-0923	0	2023 12	INV P	708.10 D-FY2023	209917	8396010010001174- S	
				ACCOUNT TOTAL	37,916.83			
		ORG 825		TOTAL	42,454.08			
FUND 0400 UTILITY FUND					TOTAL:		42,514.43	

FY2023 CLAIMS DOCKET D-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION		
850			MAINTENANCE EXPENSES					
850	622100		PROFESSIONAL SERVICES					
008127	WASTE CONNECTIONS OF 6962443W010	0	2023 12 INV P	284.35	D-FY2023	209930 6010-1034234- PROFE		
			ACCOUNT TOTAL	284.35				
850	622107		RECYCLING SERVICES					
008127	WASTE CONNECTIONS OF 6960295W010	0	2023 12 INV P	1,657.68	D-FY2023	209930 6010-1151186 RECYCL		
			ACCOUNT TOTAL	1,657.68				
			ORG 850 TOTAL	1,942.03				
FUND 0450 SANITATION FUND				TOTAL:			1,942.03	

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FY2023 CLAIMS DOCKET W-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12										
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION		
0600										
0600	214900								PAYROLL FUND	
002311	EMPOWER RETIREMENT	1122910658	0	2023	12	DIR	P	8,951.72	W-FY2023	64785 EMP CONTRIBUTIONS F
002311	EMPOWER RETIREMENT	1124764151	0	2023	12	DIR	P	5,614.22	W-FY2023	64788 EMP CONT 9/25/23
								14,565.94		
								ACCOUNT TOTAL		14,565.94
0600	215101									CAF-PRETAX MEDICAL
022644	CORPORATE PLANNING	9-15-23	0	2023	12	DIR	P	6,372.64	W-FY2023	64784 FSA/DFSA SEPT 2023
022644	CORPORATE PLANNING	9-22-2023	0	2023	12	DIR	P	1,453.36	W-FY2023	64787 FSA SEPT 22, 2023
								7,826.00		
								ACCOUNT TOTAL		7,826.00
0600	216106									ID THEFT/PREPD LEGAL
014191	PRE-PAID LEGAL SERVI	9192023	0	2023	12	DIR	P	2,346.65	W-FY2023	64786 PRE PAID LEGAL SERV
								ACCOUNT TOTAL		2,346.65
								ORG 0600	TOTAL	24,738.59
FUND 0600 PAYROLL FUND				TOTAL:						24,738.59

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FY2023 CLAIMS DOCKET WIRE_001

YEAR/PERIOD: 2023/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
0600									
0600	214300								
		PAYROLL FUND							
				EMPLOYEE MEDICAL INSURANCE					
031228	UNITEDHEALTHCARE INC 649141388382	0	2023 12	DIR P		304,893.10	WIRE_001	65378 UHC PREMIUMS-MEDICA	
031228	UNITEDHEALTHCARE INC 649144626049	0	2023 12	DIR P		304,949.52	WIRE_001	64780 UHC PREMIUMS	
						609,842.62			
		ACCOUNT TOTAL				609,842.62			
0600	215102								
				DENTAL INSURANCE PREMS					
031228	UNITEDHEALTHCARE INC 649141388382	0	2023 12	DIR P		18,965.34	WIRE_001	65378 UHC PREMIUMS-MEDICA	
031228	UNITEDHEALTHCARE INC 649144626049	0	2023 12	DIR P		18,321.55	WIRE_001	64780 UHC PREMIUMS	
						37,286.89			
		ACCOUNT TOTAL				37,286.89			
0600	215105								
				VISION					
031228	UNITEDHEALTHCARE INC 649141388382	0	2023 12	DIR P		3,595.92	WIRE_001	65378 UHC PREMIUMS-MEDICA	
031228	UNITEDHEALTHCARE INC 649144626049	0	2023 12	DIR P		3,538.23	WIRE_001	64780 UHC PREMIUMS	
						7,134.15			
		ACCOUNT TOTAL				7,134.15			
		ORG 0600		TOTAL		654,263.66			
FUND 0600 PAYROLL FUND			TOTAL:			654,263.66			

** END OF REPORT - Generated by Nicole Hilario **

FY2023 CLAIMS DOCKET U-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
0400									
0400	130700								
002879	LIFESTYLE HOME LLC	43230	0	2023	12	INV	A	107.45	U-FY2023
004557	TIDMORE TODD	43224	0	2023	12	INV	A	65.90	U-FY2023
023789	ROBERTSON HOMES	43204	0	2023	12	INV	A	89.90	U-FY2023
025462	MUDDY WATER	43240	0	2023	12	INV	A	89.60	U-FY2023
026680	SKY LAKE CONSTRUCTIO	43233	0	2023	12	INV	A	89.90	U-FY2023
026680	SKY LAKE CONSTRUCTIO	43234	0	2023	12	INV	A	131.45	U-FY2023
								221.35	
026683	PINNACLE DEVELOPMENT	43231	0	2023	12	INV	A	66.50	U-FY2023
030680	PARK PLACE PROPERTY	43235	0	2023	12	INV	A	49.90	U-FY2023
032383	MILES EDGAR	43236	0	2023	12	INV	A	68.86	U-FY2023
033905	FREEMAN SETH	43250	0	2023	12	INV	A	95.45	U-FY2023
034210	MYND MANAGEMENT INC	43188	0	2023	12	INV	P	29.55	U-FY2023 209931
036007	HEARN MARVIN	43225	0	2023	12	INV	A	2.97	U-FY2023
036558	MEMPHIS WEALTH	43245	0	2023	12	INV	A	95.45	U-FY2023
036739	LANDRETH INVESTMENTS	43251	0	2023	12	INV	A	95.45	U-FY2023
037053	PERSIMMON CREEK	43247	0	2023	12	INV	A	95.45	U-FY2023
037167	MUDDY RIVERS PROPERT	43241	0	2023	12	INV	A	88.92	U-FY2023
037281	EVERNEST LLC.	43239	0	2023	12	INV	A	36.35	U-FY2023
038070	EVERNEST, LLC	43229	0	2023	12	INV	A	4.83	U-FY2023
038444	LANEY DANA	43198	0	2023	12	INV	A	89.60	U-FY2023
038445	HOBSON PAMELA BROWN	43199	0	2023	12	INV	A	89.60	U-FY2023
038446	ROWE WILLIAM & ANN	43200	0	2023	12	INV	A	95.45	U-FY2023
038447	MONTERO EDUARDO	43201	0	2023	12	INV	A	48.35	U-FY2023
038448	MCGAUGHY GLORIA	43202	0	2023	12	INV	A	30.80	U-FY2023
038449	MCCUTCHEON GREG	43203	0	2023	12	INV	A	49.90	U-FY2023
038450	SMITH BARBARA & RONA	43205	0	2023	12	INV	A	65.90	U-FY2023

FY2023 CLAIMS DOCKET U-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
038451 BROWN SHERRITA	43206	0	2023 12	INV	A	81.60	U-FY2023	
038452 JOHNSON CRAIG	43207	0	2023 12	INV	A	95.45	U-FY2023	
038453 CAGLE DORIS D	43208	0	2023 12	INV	A	20.45	U-FY2023	
038454 MATHENY MARY	43209	0	2023 12	INV	A	36.35	U-FY2023	
038455 STAUBIN CHRISTOPHER	43210	0	2023 12	INV	A	44.05	U-FY2023	
038456 MOORE DENISE J	43211	0	2023 12	INV	A	2.90	U-FY2023	
038457 VAGHELA DIGVIJAY	43212	0	2023 12	INV	A	88.92	U-FY2023	
038458 JACKSON DARIUS	43213	0	2023 12	INV	A	19.70	U-FY2023	
038459 MEANS WILLIAM	43214	0	2023 12	INV	A	48.35	U-FY2023	
038460 HILLEQAS-TRENTHAM JA	43215	0	2023 12	INV	A	19.70	U-FY2023	
038462 HELMS NOAH	43217	0	2023 12	INV	A	6.80	U-FY2023	
038463 REID ALYSSA	43218	0	2023 12	INV	A	60.05	U-FY2023	
038464 PAYNE CATRICE	43219	0	2023 12	INV	A	72.35	U-FY2023	
038465 JONES KARINA	43220	0	2023 12	INV	A	21.75	U-FY2023	
038466 GARRISON HOLLIS	43221	0	2023 12	INV	A	95.45	U-FY2023	
038467 HALL ROBERT MATTHEW	43222	0	2023 12	INV	A	95.45	U-FY2023	
038468 SCARBROUGH TRISTAN	43223	0	2023 12	INV	A	65.90	U-FY2023	
038469 MILLICAN CHRISTOPHER	43226	0	2023 12	INV	A	26.96	U-FY2023	
038470 GILLESPIE ANTONIO (T	43227	0	2023 12	INV	A	95.45	U-FY2023	
038471 EATMON DANIELLE (TEN	43228	0	2023 12	INV	A	2.39	U-FY2023	
038472 H & N INVESTMENTS	43232	0	2023 12	INV	A	48.65	U-FY2023	
038473 PHILLIPS CONTRACTING	43237	0	2023 12	INV	A	443.95	U-FY2023	
038474 TREVANT ENTERPRISES	43238	0	2023 12	INV	A	200.00	U-FY2023	
038475 PERSON JOHN - RENTAL	43242	0	2023 12	INV	A	87.45	U-FY2023	
038476 NEAL LATOYA	43243	0	2023 12	INV	A	48.35	U-FY2023	
038477 M&M INVESTMENTS LLC	43244	0	2023 12	INV	A	54.20	U-FY2023	

FY2023 CLAIMS DOCKET U-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
038478 MARTIN FAMILY TRUST	43246	0	2023 12	INV	A	63.93		U-FY2023
038479 TREJO MARIA	43248	0	2023 12	INV	A	65.90		U-FY2023
038480 WTA PROP MANAGEMENT	43249	0	2023 12	INV	A	95.45		U-FY2023
038481 WORLDWIDE PROP. HUB	43252	0	2023 12	INV	A	95.45		U-FY2023
038482 HOLMES CYNTHIA (TENA	43253	0	2023 12	INV	A	104.12		U-FY2023
038483 PRITCHETT JAMES	43254	0	2023 12	INV	A	95.45		U-FY2023
ACCOUNT TOTAL						4,176.40		
ORG 0400 TOTAL						4,176.40		
FUND 0400 UTILITY FUND						TOTAL:	4,176.40	

FY2023 CLAIMS DOCKET U-FY2023

YEAR/PERIOD: 2022/12 TO 2023/12								
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
0450								SANITATION FUND
0450	130700							ACCOUNTS RECEIVABLE
038461	WEBB BETTY G.	43216	0	2023	12			INV A
						24.00		U-FY2023
								ACCOUNT TOTAL
						24.00		
								ORG 0450 TOTAL
						24.00		
FUND 0450 SANITATION FUND						TOTAL:		24.00

** END OF REPORT - Generated by Nicole Hilario **

26.

Executive Session

Litigation Discussion with City Attorney (Miss. Code Ann. Section 25-41-7(4)(j)); Economic Development (Industry/Business Locating to City); Interdepartmental Personnel with No Action